Project TL
Mesa, Arizona

Project Narrative

Project TL is located at Southeast Corner of the intersection of Peterson Avenue and 96th Street in Mesa, Arizona.. The site is located within the Elliot Road Technology Corridor with a total improved land area of approximately 26.87 acres. All offsite roadways, site access and utilities have been brought to the site with the exception of Natural Gas.

The proposed building will be designed for B (Business), S-1 (Warehouse/Storage) and F-1 (Light Industrial/Manufacturing) due to the addition of manufacturing equipment for bottling of water and manufacturing of bottles and caps. The overall main building square footage is 450,183 square feet. The design of the facility will contain an office area of approximately 6,408 square feet for B occupancy, S-1 will be approximately 263,897 square feet and the F-1 will be approximately 179,878 square feet.

This project is a vertically integrated bottling facility that produces the bottles and caps for bottles within the building.

The working drawings for the project will be developed in two phases. Phase I will consist of the Site Development, Warehouse Shell, Office Area and Shipping Office Phase II will consist of the interior Production Area improvements. Each phase will be made up of Architectural and Engineering documents relative to each phase of the work.

At time of full build out the project will consist of four bottling lines and required support areas. The initial build out for this project will consist of only one of the four lines with other bottling lines to be provided with market demands.

This submittal represents Phase I and includes all exterior improvements and equipment and site improvements. The site plan shows truck circulation on the north side of the building, with a 195'-0" secured truck loading, staging and maneuvering areas. Parking for the office area is located on the northwest corner of the site and will contain landscape vehicular screening and pedestrian sidewalks leading to the office entry. An maximum 8'-0" screen wall will be provided at the trailer storage area (west side), and an 8’-0” black picket security fence will surround the remainder of the site. Solid screen walls are proposed at the cooling tower and exterior silos to help soften the appearance from the street view into the project. The parking area will be screened with

a combination of berms and landscaping. Landscape planting will also be used to help soften the silo areas and storage tanks.

Site lighting will be used to provide adequate lighting for 24/7 truck circulation, safety and security.

The Shipping Office, located along the northwest side, is responsible for truck controls throughout the site by the use of controlled egress control point located at the exit drive along 96th Street and truck entry along the southwest side of the site at the 96th Street, which is also a controlled access point to enter the site for building services. The entry lanes do allow for truck stacking of over 250 feet to allow for trucks to be staged off the street. This area will be provided with three lanes for stacking of trucks. All staging areas are designed with a 20 foot fire department bypass lane with required access controls for fire department access.

The exit lanes do allow for a stacking of trucks with approximately 200 feet of stacking. The truck exit will consist of one14 foot lane and one 20 fire department fire lane.

Along the south side of the project is also a shared access point for building services that will be provided for offloading and pick up of materials to be disposed off-site and for raw materials. An 8'-0" high black picket fence will be provided at truck ingress and egress points with gates and traffic control arms. All gated areas will be provided with required access control for Fire department access. The site has been designed for truck staging and circulation which also provides Fire Department access and circulation.

In addition to the site improvements listed above, 60’-0” Resin Silos and 65’-9” Water Silos will be located on the west side of the building. Exterior water treatment equipment will also be located on the east side of the building along with partially screened cooling towers and nitrogen tanks.

All employees parking will be provided on site. A main parking field will be provided along the west side of the building and will also include spaces for visitor parking. Due to the operations of this facility and employee counts the City required parking amounts will be not be provided and a staff

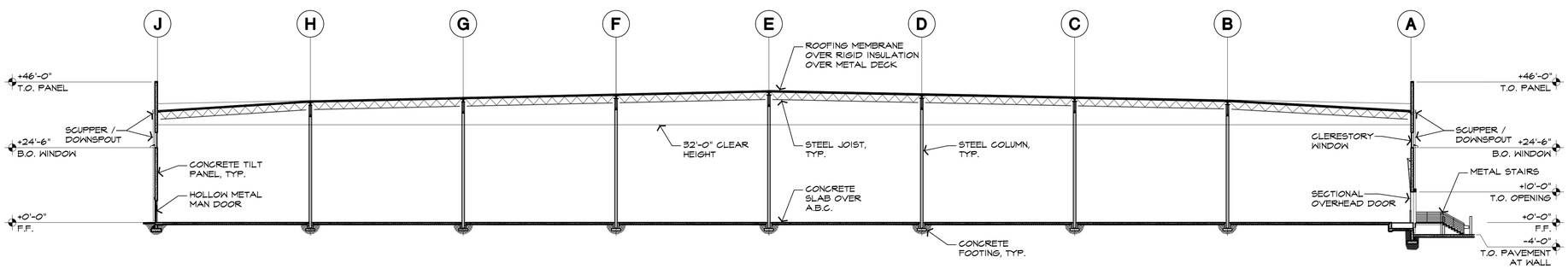
With the exception of approximately five managerial/administrative positions, which exclusively work during the daytime hours, the remaining employees are split into four equal production teams consisting of approximately ten employees. On any given day two of the four production teams will be working: one team will work the day shift (6:00 a.m. to 6:00 p.m.) and then another team will work the night shift (6:00 p.m. to 6:00 a.m.).

We would expect the highest number of people onsite during a shift change: two of the four production teams plus management. It is estimated that the total employee count during a shift change would therefore be 25 total employees (ten team members for the day shift + ten team members from the night shift + five managers).

The same employee allocation holds true for the second phase of operations, which would see the addition of one incremental bottling line. At full build out we anticipate a staff of up to 75 employees, which includes a total of 15 managerial/administrative roles. Each production team would in turn consist of 15 employees. Accordingly, during a shift change at full build out we anticipate having no more than 45 employees onsite (15 managers + 15 team members for day shift + 15 team members for night shift). Notwithstanding the minimal amount parking required for our operations our site plan provides for 76 parking stalls. The site documents identify the required parking and proposed parking limits.

The building will be dock-high on the north side for loading, and grade level on the other three sides. The exterior walls will be tilt-up concrete panels with accent paint colors with staggered parapet walls with exterior mounted scuppers and roof darins along the north and south walls. The building will have (31) 9'x10' overhead doors will be provided, (1) 20'x18' overhead doors with ramp for loading and (1) 12'x14' coil door, and (1) 20’x18’ door for grade level access will be along the south side of the building. The floor slab will be per the soils report and waste slabs will be used in the production areas. The column grid is 56'x52' with a 60'-0" span at the loading (west) and production (east) side.

The roof structure will consist of steel joists and girders with a metal deck, exposed to the underside. 32'-0" clear height will be provided. Building expansion control will be provided as required. The roofing will consist of a TPO single ply membrane over polyiso rigid insulation.



BUILDING SECTION

SCALE: 1"= 20'-0"

0 10' 20' 40'

SCALE: 1" = 20'

04-03-2017

16093_BUILDING SECTION

THE KEITH CORPORATION

PROJECT TL

MESA, AZ

22417
RICHARD R.
BUTLER
04-03-17
Not Signed
ARIZONA, U.S.A.
EXPIRES: 3/31/2020

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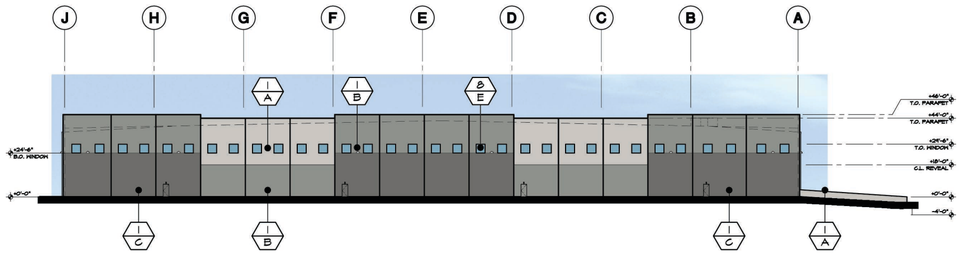
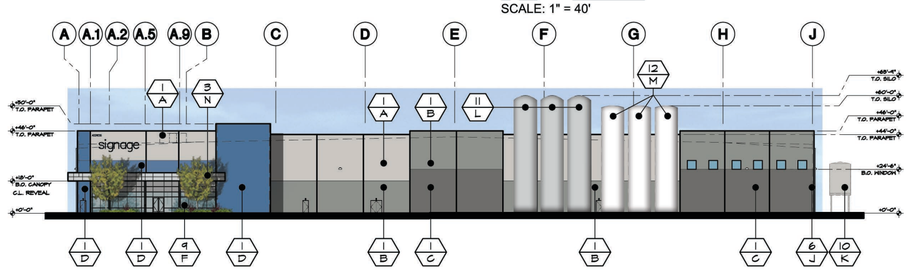
architects & planners



EAST ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'



WEST ELEVATION

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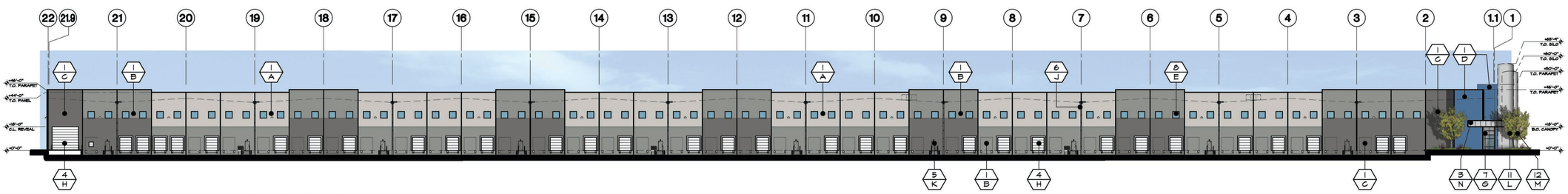
SCALE: 1" = 40'



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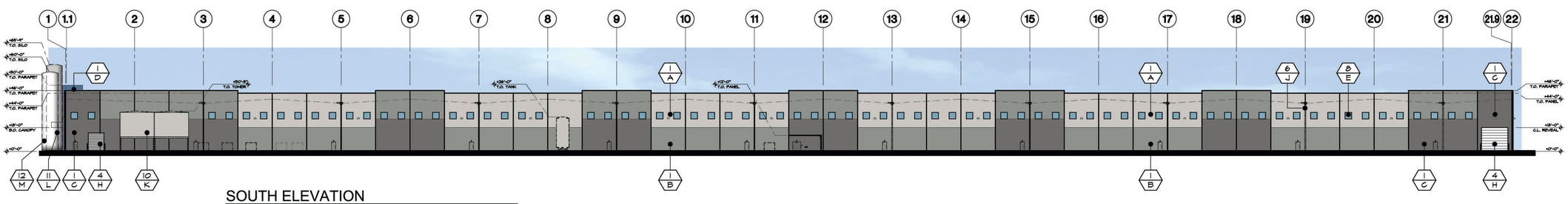

SOUTH ELEVATION

0 20' 40' 80'
SCALE: 1" = 40'

A
DET600- DOLPHIN TALES

B
DET612- STIEGLITZ SILVER

C
DET611- IRON-IC

D
DET584- POSTWAR BOOM

COLOR / MATERIAL SCHEDULE

MATERIAL COLOR/FINISH

MATERIAL		FINISH/ COLOR			
SYMBOL		SYMBOL	COLOR NAME	NUMBER	MANUFACTURER
1	CONCRETE PANEL	A	DOLPHIN TALES	DET600	DUNN EDWARDS
2	STUCCO OVER METAL FRAMING	B	STIEGLITZ SILVER	DET612	DUNN EDWARDS
3	ALUMINUM COMPOSITE PANEL OVER METAL FRAMING	C	IRON-IC	DET611	DUNN EDWARDS
4	OVERHEAD DOCK DOORS	D	POSTWAR BOOM	DET584	DUNN EDWARDS
5	STAIRS WITH TUBE STEEL RAILING	E	AZURIA + CLEAR		SOLARBAN
6	SCUPPER AND DOWNSPOUTS	F	AZURIA + SPANDREL		SOLARBAN
7	ALUMINUM WINDOW SYSTEM	G	CLEAR ANODIZED		
8	VISION GLAZING	H	FACTORY WHITE FINISH		OVERHEAD DOOR
9	SPANDREL GLAZING	J	STONE WHITE	FACTORY FINISH	FIRESTONE
10	FACTORY METAL	K	GALVANIZED FINISH		
11	STAINLESS STEEL WATER SILO	L	STAINLESS STEEL		--
12	STEEL RESIN SILO	M	FACTORY FINISH		
13	STUCCO	N	SILVER METALIC		LAMINATER
14	METAL FLASHING				

03-28-2017
16093_MESA_ELEVATIONS

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PROJECT TL
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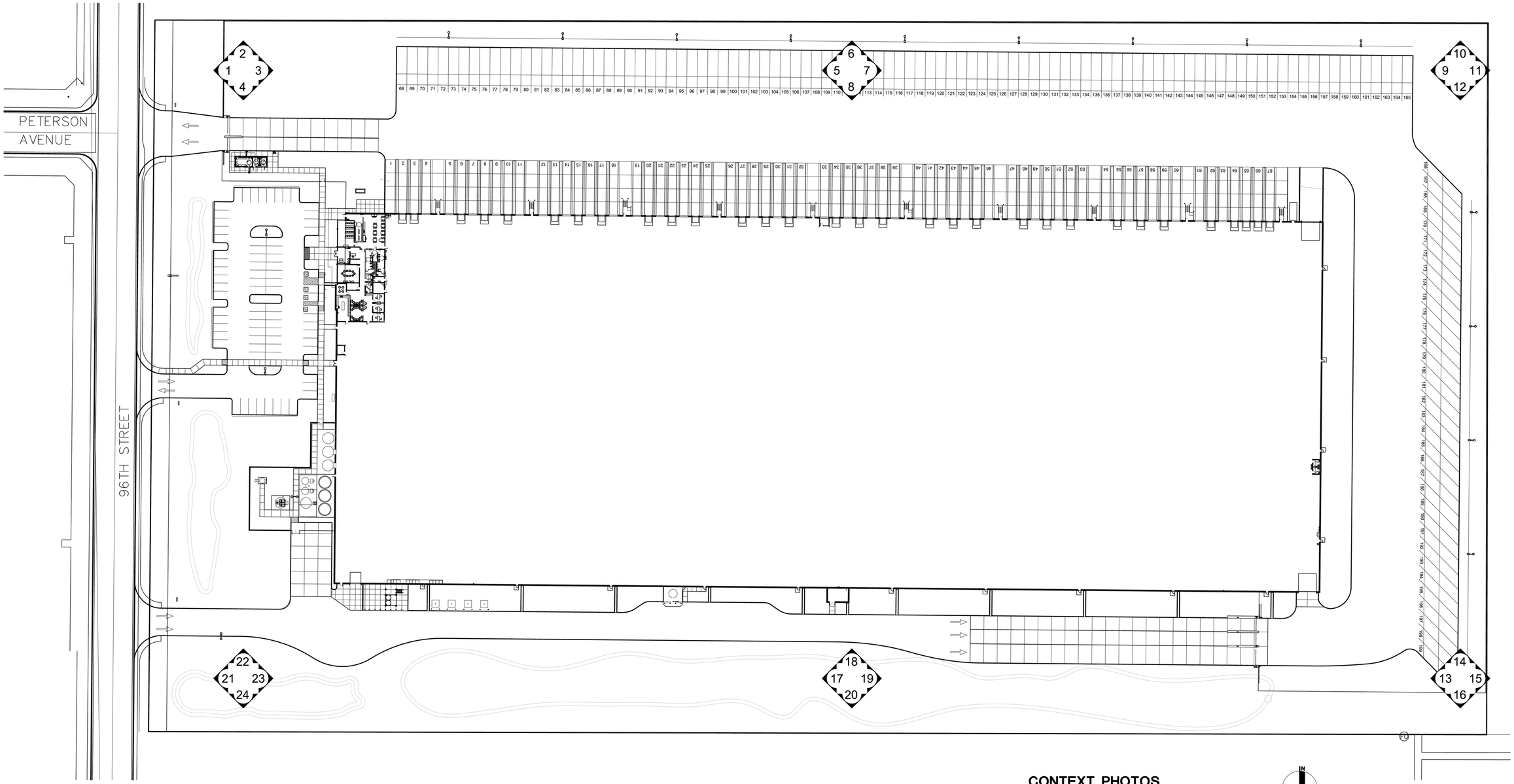

CONTEXT PHOTOS

SCALE: N.T.S.

04-03-2017

16093_CONTEXT PHOTOS

PROJECT TL

MESA, AZ

THE KEITH CORPORATION

32417 RICHARD R. BUTLER 04-03-17 Not Signed ARIZONA, U.S.A.

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1 LOOKING WEST

2 LOOKING NORTH

3 LOOKING EAST

4 LOOKING SOUTH

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16093_CONTEXT PHOTOS

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MESA, AZ

22417
RICHARD R.
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04-03-17
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5 LOOKING WEST

6 LOOKING NORTH

7 LOOKING EAST

8 LOOKING SOUTH

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16093_CONTEXT PHOTOS

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9 LOOKING WEST

10 LOOKING NORTH

11 LOOKING EAST

12 LOOKING SOUTH

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16093_CONTEXT PHOTOS

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13 LOOKING WEST

14 LOOKING NORTH

15 LOOKING EAST

16 LOOKING SOUTH

04-03-2017
16093_CONTEXT PHOTOS

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17 LOOKING WEST

18 LOOKING NORTH

19 LOOKING EAST

20 LOOKING SOUTH

04-03-2017
16093_CONTEXT PHOTOS

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21 LOOKING WEST

22 LOOKING NORTH

23 LOOKING EAST

24 LOOKING SOUTH

04-03-2017
16093_CONTEXT PHOTOS

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ENLARGED WEST ELEVATION

0 10' 20' 40'

SCALE: 1" = 20'

04-03-2017
16093_MESA_ELEVATIONS

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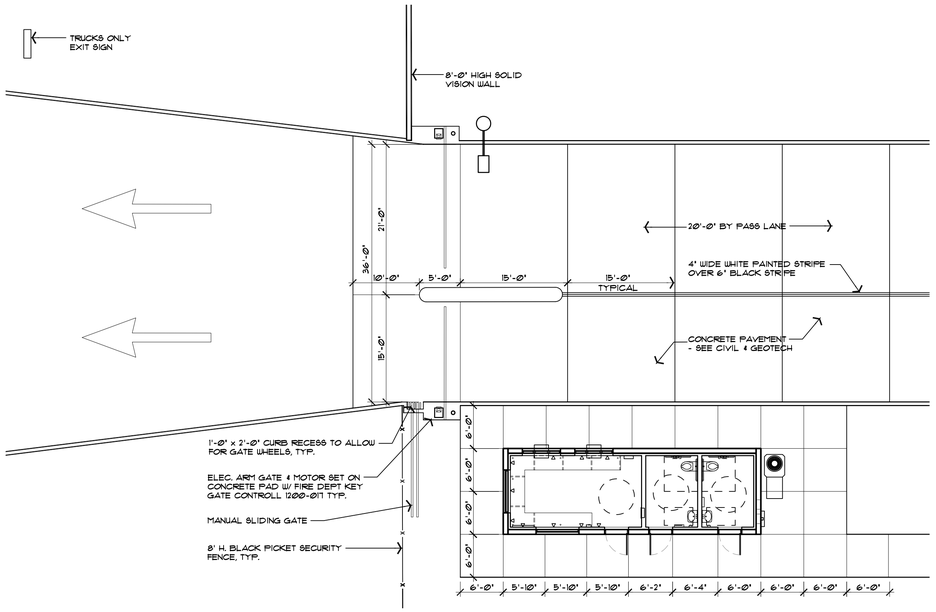
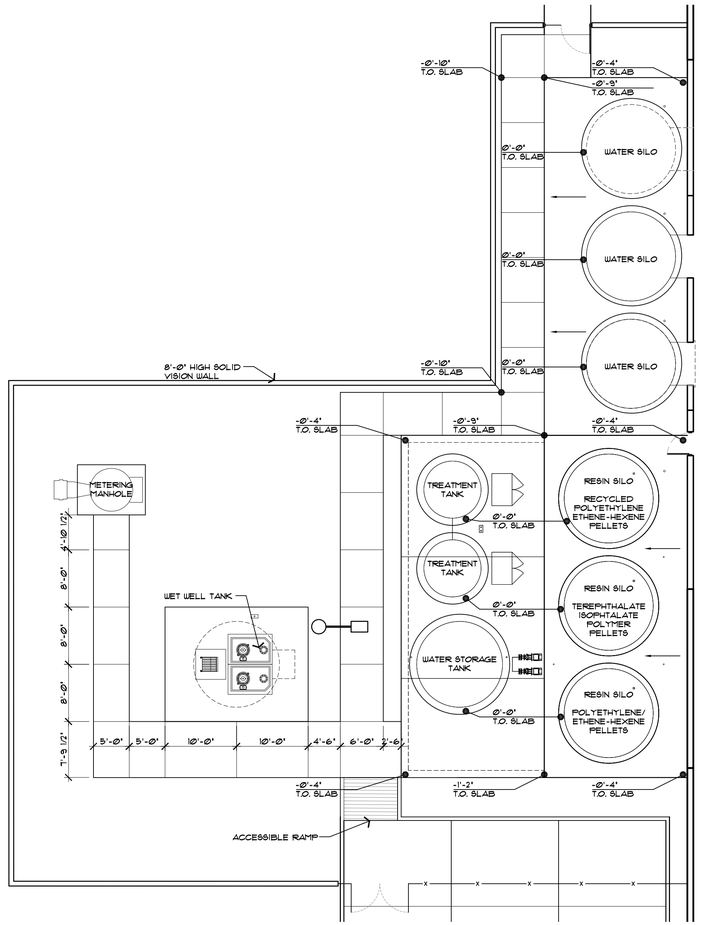


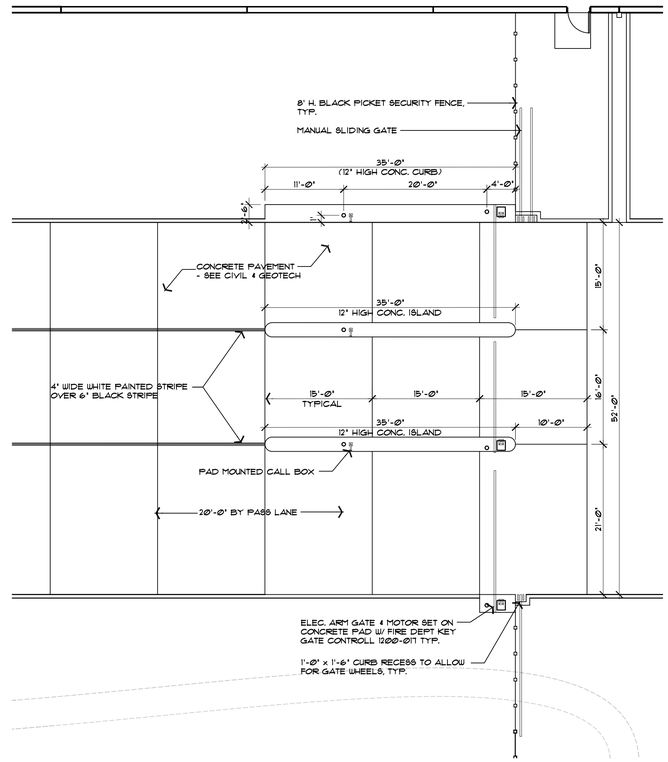
3 SERVICE AREA
SCALE: 1" = 10'-0"

SCALE: 1" = 10'



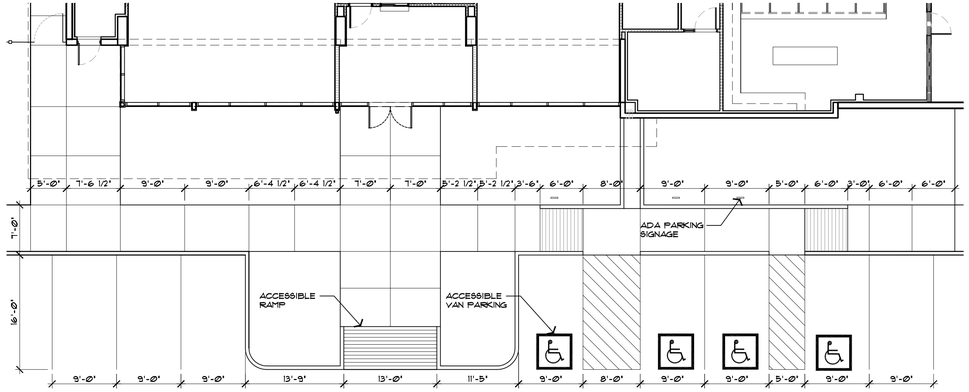
3 SERVICE AREA
SCALE: 1" = 10'-0"

SCALE: 1" = 10'



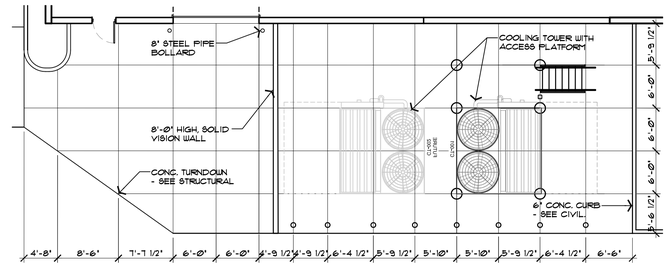
1 SECURITY CHECK-IN AREA
SCALE: 1" = 10'-0"

SCALE: 1" = 10'



5 EMPLOYEE ENTRANCE
SCALE: 1" = 10'-0"

SCALE: 1" = 10'



2 ENLARGED SERVICE AREA
SCALE: 1" = 10'-0"

SCALE: 1" = 10'

04-03-2017
16093_ENLARGED SITE PLAN

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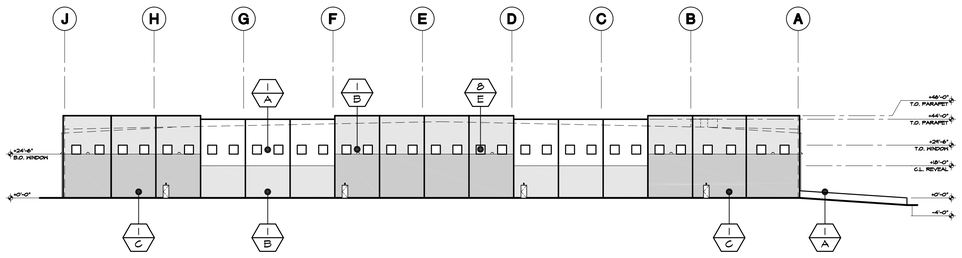
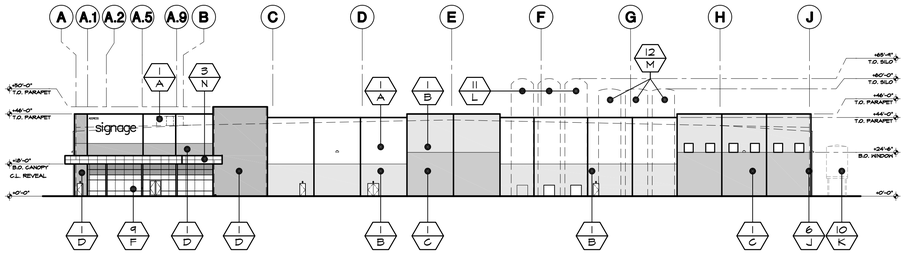


EAST ELEVATION

0 20' 40' 80'

SCALE: 1" = 40'



WEST ELEVATION

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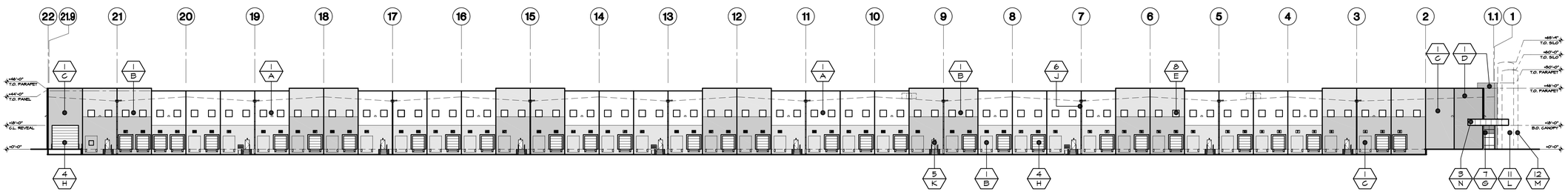
SCALE: 1" = 40'



NORTH ELEVATION

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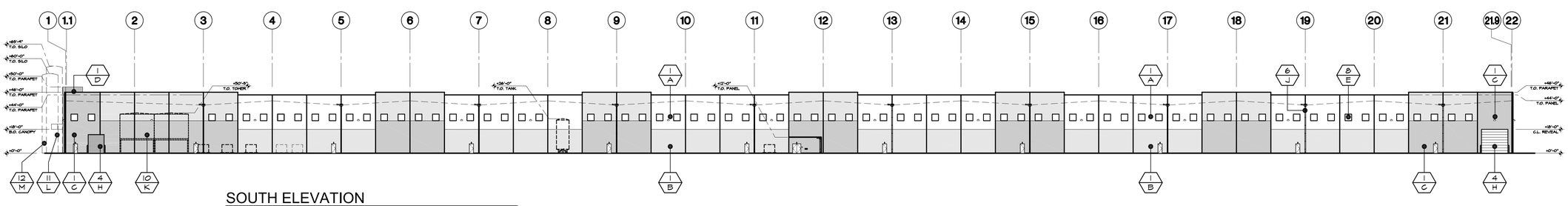
SCALE: 1" = 40'



SOUTH ELEVATION

0 20' 40' 80'

SCALE: 1" = 40'

COLOR / MATERIAL SCHEDULE

MATERIAL COLOR/FINISH

MATERIAL		FINISH/ COLOR			
SYMBOL		SYMBOL	COLOR NAME	NUMBER	MANUFACTURER
1	CONCRETE PANEL	A	DOLPHIN TALES	DET600	DUNN EDWARDS
2	STUCCO OVER METAL FRAMING	B	STIEGLITZ SILVER	DET612	DUNN EDWARDS
3	ALUMINUM COMPOSITE PANEL OVER METAL FRAMING	C	IRON-IC	DET611	DUNN EDWARDS
4	OVERHEAD DOCK DOORS	D	POSTWAR BOOM	DET584	DUNN EDWARDS
5	STAIRS WITH TUBE STEEL RAILING	E	AZURIA + CLEAR		SOLARBAN
6	SCUPPER AND DOWNSPOUTS	F	AZURIA + SPANDREL		SOLARBAN
7	ALUMINUM WINDOW SYSTEM	G	CLEAR ANODIZED		
8	VISION GLAZING	H	FACTORY WHITE FINISH		OVERHEAD DOOR
9	SPANDREL GLAZING	J	STONE WHITE	FACTORY FINISH	FIRESTONE
10	FACTORY METAL	K	GALVANIZED FINISH		
11	STAINLESS STEEL WATER SILO	L	STAINLESS STEEL		--
12	STEEL RESIN SILO	M	FACTORY FINISH		
13	STUCCO	N	SILVER METALIC		LAMINATER
14	METAL FLASHING				

04-03-2017

16093_MESA_ELEVATIONS

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PROJECT TL

MESA, AZ

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04-03-17
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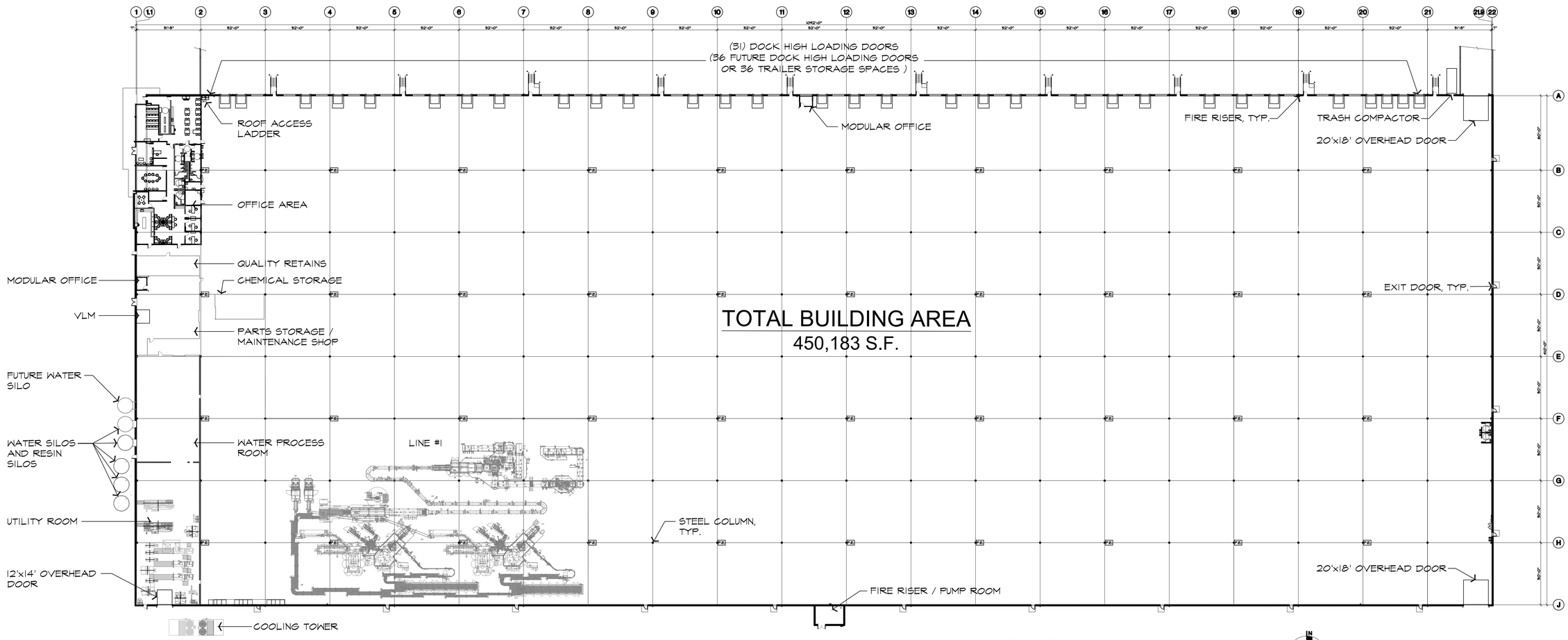

04-03-2017
16093_FLOOR PLAN

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MESA, AZ

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04-03-17
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ARIZONA, U.S.A.
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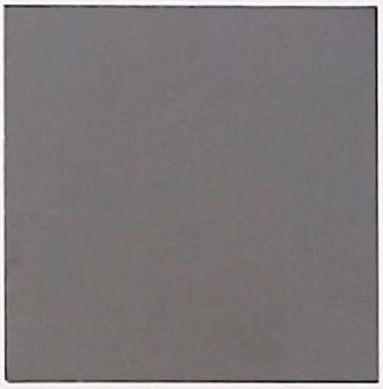
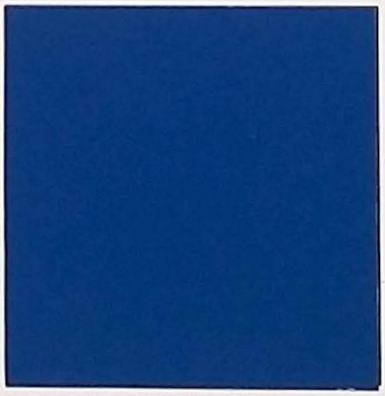
SILVER METALIC ACM PANEL

DET600 - DOLPHIN TALES



DET612 - STIEGLITZ SILVER

DET611 - IRON-IC



DET584 - POSTWAR BOOM

REGISTERED ARCHITECT
CERTIFICATE NO.
22417
RICHARD R.
BUTLER
04-03-17
Date Signed
ARIZONA, U.S.A.

EXPIRES: 3/31/2020

04-03-2017
16093_MESA MATERIAL BOARD

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PROJECT TL

MESA, AZ

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PROJECT TL

MESA, AZ

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BUTLER
04-03-17
REGISTERED
ARIZONA, U.S.A.
EXPIRES: 3/31/2020

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04-03-2017
16093_SHIPPING OFFICE

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PROJECT TL

MESA, AZ

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EXPIRES: 3/31/2020

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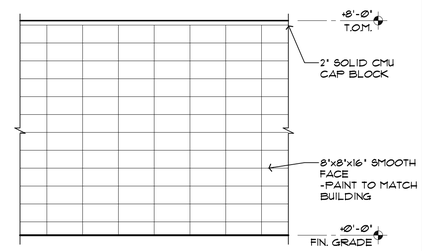
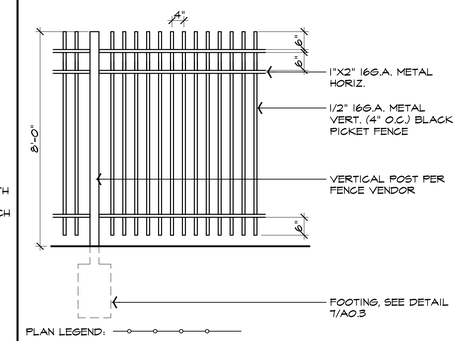


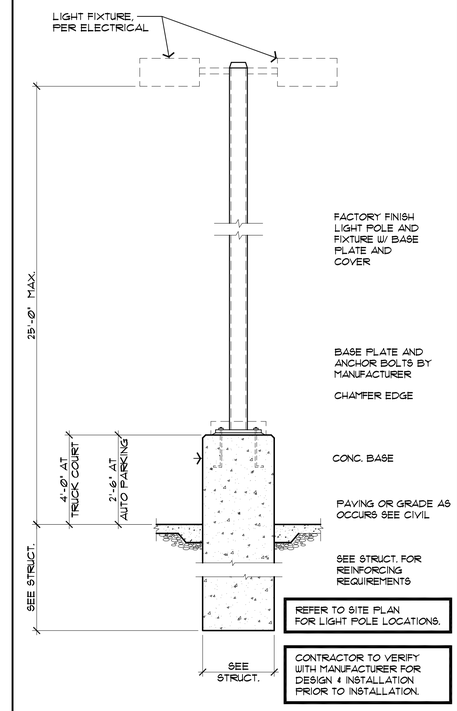
3 TYP. SOLID VISION WALL

SCALE: 3/8" = 1'-0"



1 PERIMETER FENCE

SCALE: 1/2" = 1'-0"



2 LIGHT POLE DETAIL

SCALE: 1/2" = 1'-0"

04-03-2017
16093_DETAILS

22417
RICHARD R.
BUTLER
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Professional Architect
ARIZONA, U.S.A.
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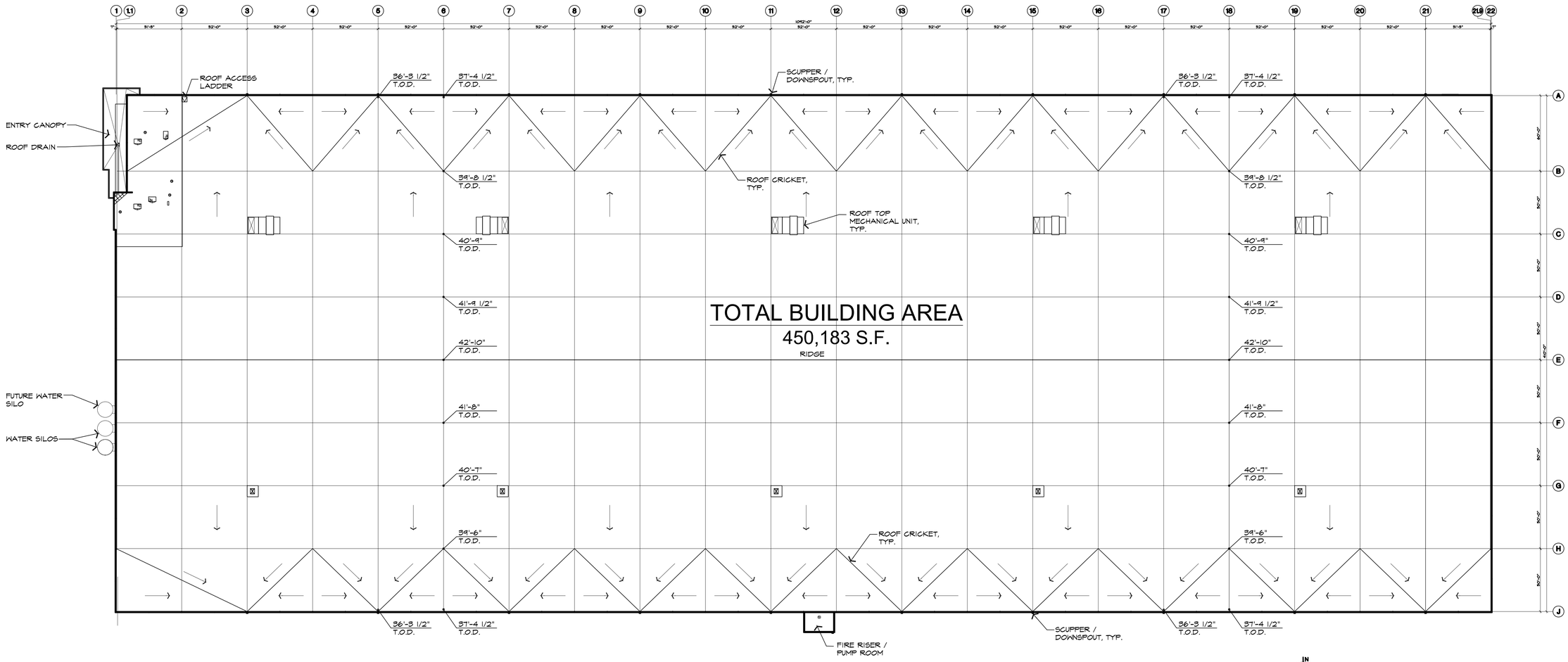
PROJECT TL

MESA, AZ



ROOF PLAN

SCALE: 1" = 40'-0"

0 20' 40' 80'

SCALE: 1" = 40'

04-03-2017

16093_ROOF PLAN

PROJECT TL

MESA, AZ

THE KEITH CORPORATION

22417 RICHARD R. BUTLER 04-03-17 Date Signed ARIZONA, U.S.A.

EXPIRES: 3/31/2020

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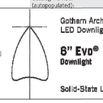
gotham

Luminaire Type:
Catalog Number
(autopopulated)

Gotham Architectural Downlighting
LED Downlights

6" Evo® Downlight

Solid-State Lighting



OPTICAL SYSTEM
- Self-flanged or flangeless semi-specular, matte-diffuse or specular finishing trim
- Patented Bounding Ring™ optical design (U.S. Patent No. 8,800,060)
- 45° cutoff to source and source image
- Top-down flash characteristic
- Polycarbonate lens integral to light engine

MECHANICAL SYSTEM
- 18-gauge galvanized steel construction, maximum 1-1/2" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 16", preinstalled, 4" vertical adjustment
- Trapeze adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 1.12A/HG rated for 90°C
- Light engine and driver accessible through aperture
- Injection molded mud ring includes trim flange as trims. Sold as separately. Installs indoor density of the mounting frame to reduce cracks in plaster due to vibration.

ELECTRICAL SYSTEM
- Fully serviceable and upgradeable forward LED light engine
- 70% lumen maintenance at 60,000 hours
- Tested according to LM-79 and LM-80 standards
- Overload and short circuit protected
- 0.5 BC(B); 85 CRI typical, 90+ CRI optional

LIFTGUARD
- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY
- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

A - Capable options indicated (white inside background)

EXAMPLE: EVO 20/10 8AR MWD LS8 MVOLT EZ1

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Trim Style	Distribution	Finish	Voltage
EVO	27/ 2700 K 30/ 3000 K 35/ 3500 K 40/ 4000 K	10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 35 3500 lumens 40 4000 lumens 45 4500 lumens	8AR Clear 8PR Pewter 8WH Wheat 8GR Gold 8WHT White 8BRT Black 8WHZRB* White anti-microbial	Blank(s) Self-flange/Flangeless FL Flangeless	WD Very narrow (0.5 beam) ND Narrow (0.7 beam) MD Medium (0.9 beam) MWD Medium wide (1.0 beam) WD Wide (1.2 beam)	LS Semi-specular LD Matte-diffuse LS Specular	MVOLT 120 277 347*

Driver*	Options
EZ10 eldoLED 0-10V ECODrive. Linear dimming to 10% min.	SF Single fuse. Specify 120V or 277V.
EZ1 eldoLED 0-10V ECOdrive. Linear dimming to 1% min.	TRIM* White painted flange
EZ8 eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%.	TRIBL* Black painted flange
EDA8 eldoLED SOLOdrive DALI. Logarithmic dimming to <1%.	ELR* Emergency battery pack with integral test switch
EDA8DS eldoLED POWERdrive DMX with RDM (remote device management). Square Law dimming to <1%. Includes termination resistor. Refer to TECH-DMX Manual.	NPSOBEZ* nLight® and dimming pack controls 0-10V eldoLED drivers.
EXA1 XPoint Wireless, eldoLED 0-10V ECOdrive. Linear dimming to 1%. Refer to XPoint tech sheet.	NPSOBCZE* nLight® dimming pack controls 0-10V eldoLED drivers. Certain fixtures are equipped with emergency circuit.
EXA8 XPoint Wireless, eldoLED 0-10V SOLOdrive. Logarithmic dimming to <1%. Refer to XPoint tech sheet.	
EDBG2* Lutron® Hi-Lume® 2-wire forward-phase driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 5000.	
EDBG3* Lutron® Hi-Lume® 3-wire or EcoSystem® dimming driver. Minimum dimming level 1%. Minimum lumen 1000/Maximum lumen 4650.	

BD0 Bodine generator transfer device. Specify 120V or 277V.
BBDG High CRI (90+)
DP* Orange plenum. Specify 120V or 277V.
RBL_ RBL200-ready luminaire connections enable a simple and consistent factory installed option across all ARL luminaire brands. Refer to RBL for complete nomenclature.

* Not available with flangeless.
2. Not available with EL or ELR options.
3. Refer to TECH-BAD for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. Specify voltage. ECOBS not available in 277V.
6. Not available with white reflector. Not applicable with FL option.
7. Not available with black reflector. Not applicable with FL option.
8. For dimensional changes, refer to TECH-LAD. Not available with 347V.
9. For use with generator supply (EM power. Will require an emergency foot feed and normal hot feed.
10. ELR not available. CP & ECOBS - 3000 lumen max. CP & ECOBS - 4000 lumen max. CP, ECOBS/ECOBS & EL - 2000 lumen max.

EVO-0-OPEN
PAGE 1 OF 4

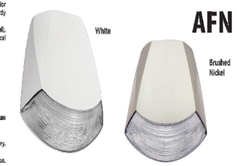
gotham

LITHONIA LIGHTING

Catalog Number
Notes
Type

AFFINITY®
Die-Cast Architectural Emergency Light

AFN



Single multi-chematic LED indicator to display two-state charging, test activation and three-state diagnostic status.
Testswitch provides manual activation of 90-second diagnostic testing for on-demand visual inspection.
Self-diagnostic testing for live minutes every 30 days and 30 minutes every six months.
Jacketed conduction of lamps, AC to DC inverter, charging and battery conditions. Continuously monitors AC power status.
Photovoltaic automatic test initiates night hour delay of an automatic test by activating the manual test switch.
LUTRONE — UL Listed. Wet locations and cold temperature (-20°F) Rated. Damp location (PREM) Rated. Heat location (HL) option available with PREM package. Meets UL 924, NFPA 101, NFPA 70 AEC and OSHA illumination standards. UL listed.
WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx
Actual performance may differ as a result of end-user environment and application.
Note: Specifications subject to change without notice.

ORDERING INFORMATION For lamp head leads, configure product using **bolded options.**

Example: AFN W EXT

AFN			
Series	**Finish**		**Options**
AFN AFFINITY Series die-cast architectural emergency lighting	W White B Black BN Brushed nickel DB Dark bronze		(blank) Remote PREM Damp location HL Heat location FWD Forward throw optics WL Wet location with time delay linked than 30°F to 122°F (0°C to 50°C)

Accessories Ordered and shipped separately.

DSCHBKS	Square adjustable beam per side housing
DSCHBKSU	Wide downward adjustable beam per side housing
DSCHFSU	Wide downward adjustable beam per side housing
DSCHFSQ	Per side housing
DSCHFSQU	Per side housing
PUSHLOCK	Tamper-resistant push-lock mounting hardware
DSCEGRIDWU	Wire guard accessory
DSCEGRIDW	Wire guard accessory
DSCEGRIDB	Wire guard accessory

Accessories: Order as separate catalog numbers.

ELA UNIVERSAL	Remote fixture (less battery and electronics) to be powered by ELI battery equipment as part of an emergency lighting system (listed from -40°F to 122°F; -40°C to 50°C). BN, W, B finishes available.

Notes
1 Not only available with PREM option package.
2 See spec sheet ELA-DSCELA-AFN.

EMERGENCY

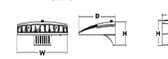
AFN

D-Series Size 1
LED Wall Luminaire

d^series

Specifications
Luminaire
Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)
Weights: 12 lbs (5.4 kg)

Back Box (BBW, ELCW)
Width: 13-3/4" (34.9 cm)
Depth: 4" (10.2 cm)
Height: 6-3/8" (16.2 cm)
BBW Weights: 5 lbs (2.3 kg)
ELCW Weights: 10 lbs (4.5 kg)



Ordering Information **EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD**

DSXW1 LED

Series	LEDs	Power Source	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)
DSXW1 LED	10C 10 LEDs (6-12 amp drive) 20C 20 LEDs (6-12 amp drive)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (7-12 amp drive)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T1S Type I short T2M Type II medium T2S Type II short T3M Type III medium T3S Type III short T4M Type IV medium T4W Forward Throw Wide* ASYSF Asymmetric diffuse	120 120V 277 277V 347 347V 480 480V	MVOLT* (120-347V) BBW Surface mounting bracket PE Photoelectric cell, factory installed DMG 0-10V dimming wires pulled to luminaire PIR 180° motion/ambient light sensor, <15 mounting height* PIR1FC3V 180° motion/ambient light sensor, 15-30 mounting height, 1 foot candle* PIRHCFC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3FC* PIRHF1FC3V Motion/ambient sensor, 15-30' mounting height, 1 foot candle* ELCW Emergency battery backup (includes external connections, excludes EM)	**Shipped installed** PER NEMA twist-lock receptacle only (no controls)* PER5 Five-wire receptacle only (no controls)*,* PER7 Seven-wire receptacle only (no controls)*,* DMG 0-10V dimming wires (no controls)* DCR Dimmable and controllable via 1%-10% DALI-2 (no controls)*,* DS Dual switching*,* PIR 180°, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3FC* PIR1FC3V 180°, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1FC* PIRHCFC3V 180°, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3FC* PIRHF1FC3V 180°, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1FC* BLSO Bi-level switched dimming, 50%*,* BLTSO Bi-level switched dimming, 50%*,* PNMTDD3 Part right, dim at dusk* PNMTDD6 Part right, dim 6 hrs* PNMTRD3 Part right, dim after 3* PNMTRD6 Part right, dim after 6* PNMTTD3 Part right, dim 7hrs* RAD Field adjustable output*,*	**Shipped installed** HS House-side shield*,* SF Single fuse (120, 277, 347V)*,* DF Double fuse (120, 277, 347V)*,* SPD Surge protective device, 10kA, 480V*,*,* L90 Left rotated optics* R90 Right rotated optics* BS Bird spikes	DDBXD Dark bronze DDBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLKTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories
Ordered and shipped separately.

DSXW1HS	House-side shield for one lamp head*
DSXW1HS2	House-side shield for two lamp heads*
DSXW1PBBW	Post mounting adapter
DSXW1CE	Cast aluminum canopy
PUSHLOCK	Tamper-resistant push-lock mounting hardware
DSXW1DWG	Wire guard accessory
DSXW1DWGU	Wide downward adjustable beam per side housing

* Not available with 530mA and 700mA.

NOTES
1 Specified in cool white except where noted.
2 Operating temperature range: -40°C to +40°C.
3 Not available with 530mA and 700mA.
4 Not available in 347V.
5 MVOLT drivers operate on any line voltage from 120-277V (50/60 Hz). Specify 120V, 277V, or 347V for single voltage operation. Dual voltages are 120-277V.
6 Not available in combination with other options.
7 Not available in combination with other options. Not available with 50% dimming, DCR, DS, PER5, PER7, or PER7 options. Not compatible with PIR1FC3V or PIRHF1FC3V.
8 Not available with 350mA, 530mA, or 700mA. Not available with 50% dimming, DCR, DS, PER5, PER7, BLSO or BLTSO options. Not available with PER5, PER7, PER5, DCR, DS, or BLSO or BLTSO options. Not available with PIR1FC3V or PIRHF1FC3V.
9 Not available with DCR, DS, PER5, PER7, BLSO, BLTSO, DCR, DS, PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.
10 Operating temperature: Not available with PER5, PER7, BLSO, BLTSO, DCR, or DS options.
11 Not available with DCR, DS, PER5, PER7, or BLSO options.
12 Not available with DCR, DS, PER5, PER7, BLSO, BLTSO, DCR, DS, or BLSO options.
13 Not available with DCR, DS, PER5, PER7, or BLSO options. Also available as a separately shipped spare lamp head. See Accessories information.
14 Not available with DCR, DS, or BLSO options.
15 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options.
16 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.
17 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.
18 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.
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20 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.
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25 Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.

Accessories

Controls & Shields
DLL127F1.5CJ Photocell - SSL twist-lock (120-277V)*
DLL347F1.5CJ Photocell - SSL twist-lock (347V)*
DLL480F1.5CJ Photocell - SSL twist-lock (480V)*
DSHORT SHORT Kit*
DSHO SQUARE House-side shield for SQUARE*
DSHORT SQUARE Short cowl for SQUARE*
DSHO RECT House-side shield for RECTANGULAR*
DSHORT RECT Short cowl for RECTANGULAR*
DSHO ROUND House-side shield for ROUND*
DSHORT ROUND Short cowl for ROUND*
DSHO DOUBLE House-side shield for DOUBLE*
DSHORT DOUBLE Short cowl for DOUBLE*
DSHO QUAD House-side shield for QUAD*
DSHORT QUAD Short cowl for QUAD*
DSHO TRIPLE House-side shield for TRIPLE*
DSHORT TRIPLE Short cowl for TRIPLE*
DSHO SINGLE Single Area Shield, Black Outside, Black Inside, Square Cross. See Accessories for more information.
DSHO SINGLE U Single Area Shield, Black Outside, Black Inside, Round Cross. Not available with DCR, Photo cells integral dimming.
DSHO Square for 2x2 or 2x4 Troffer 1000-4000lumen lumen 5000.
DSHO Round for 2x2 or 2x4 Troffer 1000-4000lumen lumen 5000.
DSHO Round for 2x2 or 2x4 Troffer 1000-4000lumen lumen 4650.

* Not available with DCR, DS, PER5, PER7, or BLSO options. Not available with 350mA, 530mA, or 700mA. Not available with PER5, PER7, or BLSO options. Not available with PIR1FC3V or PIRHF1FC3V.

* For more current options, visit CPI and TECH Lighting.

LITHONIA LIGHTING.
One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
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D-Series Size 1
LED Area Luminaire

d^series

Specifications
EPA: 1.01 ft² (0.09 m²)
Length: 33" (83.8 cm)
Width: 13" (33.0 cm)
Height: 7-1/2" (19.0 cm)
Weight (max): 27 lbs (12.3 kg)

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD**

DSX1 LED

Series	LEDs	Power Source	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	**Forward optics** 30C 30 LEDs (two engine) 60C 60 LEDs (two engines) **Rotated optics*** 30C 30 LEDs (two engines) 60C 60 LEDs (two engines)	350 350 mA 700 700 mA 1000 1000 mA (1 A)*	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T1S Type I short T2M Type II medium T2S Type II short T3M Type III medium T3S Type III short T4M Type IV medium T4W Type IV wide TFTM Forward throw medium TFTW Forward throw wide T5VS Type V very short T5W Type V medium T5VW Type V wide BLC Backlight control[1,2] LCCO Left corner cutoff[1] RCCO Right corner cutoff[1]	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	**Shipped included** SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adapter[7] RPUMBA Round pole universal mounting adapter[7] **Shipped separately** KMA8 DDBXD Mast arm mounting bracket adapter (specify finish)[7,8]

Control options	Other options	Finish (required)
Shipped installed PER NEMA twist-lock receptacle only (no controls)[9] PER5 Five-wire receptacle only (no controls)[9,10] PER7 Seven-wire receptacle only (no controls)[9,11] DMG 0-10V dimming wires (no controls)[9] DCR Dimmable and controllable via 1%-10% DALI-2 (no controls)[9,12] DS Dual switching[13] PIR 180°, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3FC[9,14] PIR1FC3V 180°, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1FC[9,14] PIRHCFC3V 180°, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 3FC[9,14] PIRHF1FC3V 180°, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1FC[9,14] BLSO Bi-level switched dimming, 50%[9,15] BLTSO Bi-level switched dimming, 50%[9,16] PNMTDD3 Part night, dim at dusk[9,17] PNMTDD6 Part night, dim 6 hrs[9,17] PNMTRD3 Part night, dim after 3[9,17] PNMTRD6 Part night, dim after 6[9,17] PNMTTD3 Part night, dim 7hrs[9,17] RAD Field adjustable output[9,18]	**Shipped installed** HS House-side shield[19] SF Single fuse (120, 277, 347V)[20,21] DF Double fuse (208, 240, 480V)[20,21] SPD Surge protective device, 10kA, 480V[20,22] L90 Left rotated optics[23] R90 Right rotated optics[23] BS Bird spikes[24]	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLKTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Accessories
Ordered and shipped separately.

DSX1HS	House-side shield for one lamp head[19]
DSX1HS2	House-side shield for two lamp heads[19]
DSX1PBBW	Post mounting adapter
DSX1CE	Cast aluminum canopy
PUSHLOCK	Tamper-resistant push-lock mounting hardware
DSX1DWG	Wire guard accessory
DSX1DWGU	Wide downward adjustable beam per side housing

* Not available with 350mA and 700mA.

NOTES
1 Specified in cool white except where noted.
2 Operating temperature range: -40°C to +40°C.
3 Not available with 350mA and 700mA.
4 Not available in 347V.
5 MVOLT drivers operate on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V, 277V, or 347V for single voltage operation. Dual voltages are 120-277V.
6 Not available in combination with other options.
7 Not available in combination with other options. Not available with 50% dimming, DCR, DS, PER5, PER7, or PER7 options. Not compatible with PIR1FC3V or PIRHF1FC3V.
8 Not available with 350mA, 530mA, or 700mA. Not available with 50% dimming, DCR, DS, PER5, PER7, BLSO or BLTSO options. Not available with PER5, PER7, PER5, DCR, DS, PER5, PER7, or BLSO or BLTSO options. Not available with PIR1FC3V or PIRHF1FC3V.
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10 Operating temperature: Not available with PER5, PER7, BLSO, BLTSO, DCR, or DS options.
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LITHONIA LIGHTING.
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DSX1-LED
Rev. 10/10/14
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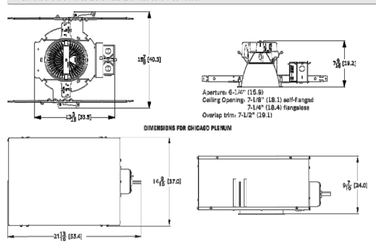
6" EVO
Downlight
Solid-State Lighting

gotham

DIMENSIONS

All dimensions are inches (centimeters) unless otherwise noted.



SPECIFICATIONS

WATTAGE CONSUMPTION MATRIX			
LUMENS	LM ACTUAL	WATTAGE	LUMENS per WATT
1000	1,059	11.8	90.1
1500	1,572	18.5	85.0
2000	2,018	23.2	86.9
2500	2,612	29.5	88.5
3000	3,077	36.5	84.1
3500	3,581	42.1	85.3
4000	4,045	48.1	84.2
4500	4,655	49.9	97.1

EMERGENCY LUMEN OUTPUT		
LUMENS	WATTAGE	INITIAL OUTPUT
1000	9.6	1000
1500	9.6	1000
2000	9.6	1000
2500	9.6	1000
3000	9.6	1000
3500	9.6	1000
4000	9.6	1000
4500	9.6	1000

ACCESSORIES

ACCESSORIES order as separate catalog numbers (shipped separately)

CC2A8	Sloped ceiling adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: 15CA8 10D. Refer to TECH-SBS.
CTA6-8 YK	Ceiling thick mate adapter (extends mounting frame to accommodate ceiling thickness up to 9"). Adds ~4" to fixture height.
DVRT	Vandal-resistant trim accessory. Refer to TECH-DVR.
0-10V BC	0-10V wallbox dim mar. Refer to 0-10-BC.

ORDERING NOTES

1. Not available with flangeless.
2. Not available with EL or ELR options.
3. Refer to TECH-BAD for compatible dimmers.
4. Not available with nLight® and XPoint options.
5. Specify voltage. ECOBS not available in 277V.
6. Not available with white reflector. Not applicable with FL option.
7. Not available with black reflector. Not applicable with FL option.
8. For dimensional changes, refer to TECH-LAD. Not available with 347V.
9. For use with generator supply (EM power. Will require an emergency foot feed and normal hot feed.
10. ELR not available. CP & ECOBS - 3000 lumen max. CP & ECOBS - 4000 lumen max. CP, ECOBS/ECOBS & EL - 2000 lumen max.

gotham
GOTHAM ARCHITECTURAL DOWNLIGHTING | P 800.315.4882 | gotham lighting.com
© 2010-2016 Acuity Brands Lighting, Inc. All Rights Reserved. Rev. 12/12/16 Specifications subject to change without notice.
EVO-0-OPEN
PAGE 2 OF 4

AFN Affinity® Die-Cast Architectural Emergency Light

SPECIFICATIONS

ELECTRICAL: Primary Circuit

	AC Input			Output volts	Watts output
Type	Volts	Amps	Watts		1-12 hrs.
AFN	120	.11	1.1	6	12
	277	.12	1.3		
AFN PREM	120	.16	1.4	6	12
	277	.14	1.4		
AFN EXT	120	.23	2.7	6	12
	277	.26	3.6		

BATTERY: Sealed Lead-Calcium

Voltage	Shelf life[2]	Typical life[3]	Maintenance[4]	Optimum temperature[1]
6	12 months	6 - 7 years	none	60° - 90°F (16° - 32°C)

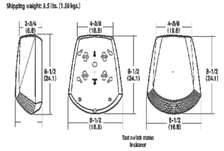
BATTERY: Nickel-Cadmium

Voltage	Shelf life[2]	Typical life[3]	Maintenance[4]	Optimum temperature[1]
6	5 years	7 - 9 years	none	32° - 122°F (0° - 50°C)

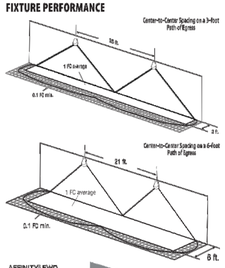
Notes
1 EXT provided with battery heater.
2 At 77°F (25°C).
3 Optimum ambient temperature range where unit will provide capacity for 90 minutes. Higher and lower temperatures affect life and capacity. See option packages for expanded temperature ranges. Consult factory for detailed information.
4 All batteries maintenance, including emergency lighting for pack of engines must be maintained, serviced, and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform that required maintenance, service, or testing could jeopardize the safety of occupants and will void all warranties.

MOUNTING

All dimensions are inches (centimeters).
Shipping weight: 3.0 lbs. (1.36 kgs.)



FIXTURE PERFORMANCE



SPACING GUIDE

Xenon Lamp	Path of Egress 3'-wide	Path of Egress 6'-wide
Center-to-Center Spacing	36'	31'

NOTE: Meets Life Safety Code standard at minimum illuminance of 1.1 FC and average illuminance of 1.8 FC. Assumes open space with no obstructions, mounting height 8.5', ceiling height 10' and reflectances 80/50/20.

LITHONIA LIGHTING
An Acuity Brands Company
EMERGENCY
One Lithonia Way, Conyers, GA 30012 Phone: 800-705-8004 Fax: 770-861-6141 www.lithonia.com © 2003-2014 Acuity Brands Lighting, Inc. All rights reserved. Rev. 08/28/14
AFN

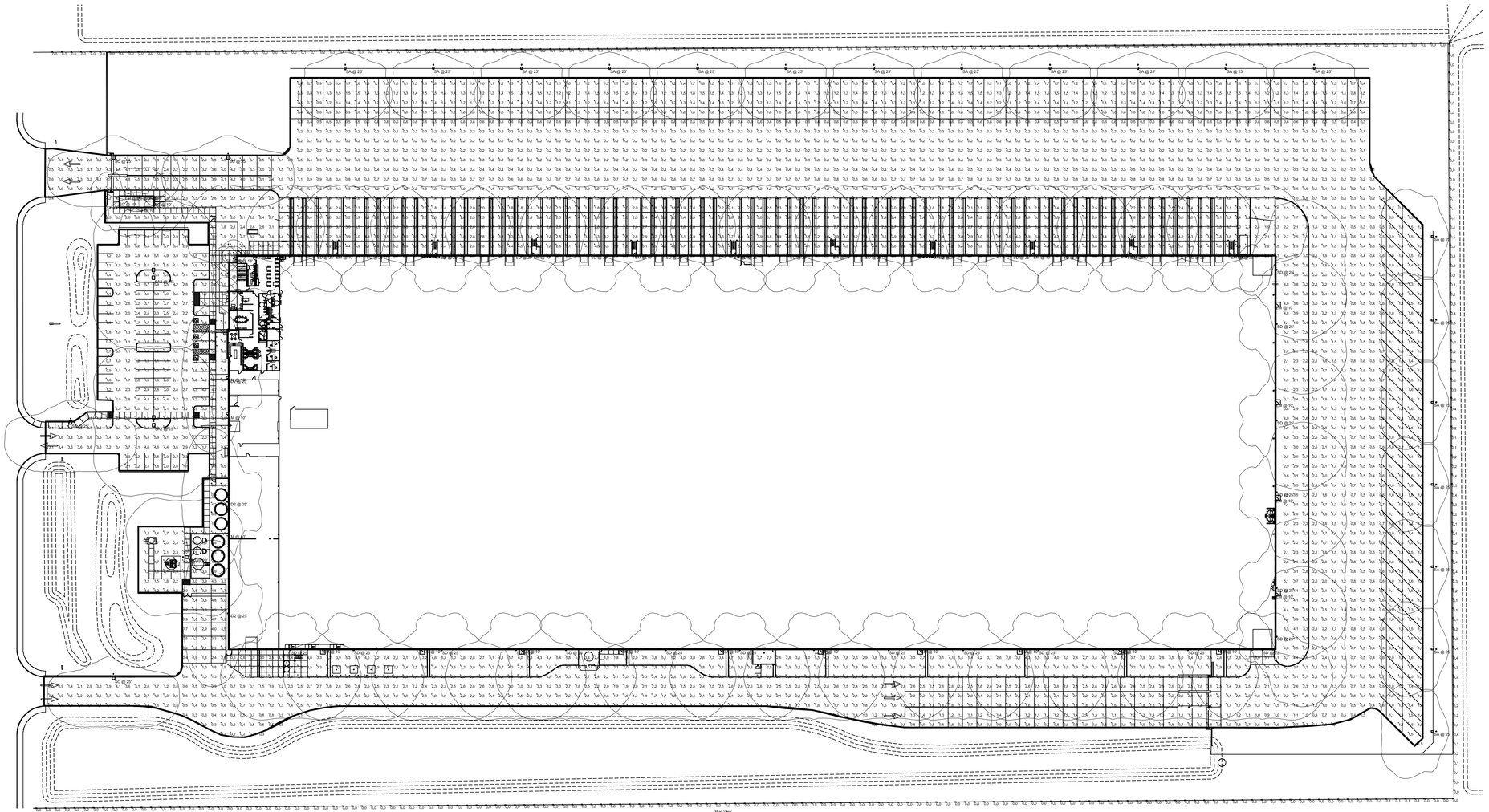
04-03-2017
16093_SITE LIGHTING CUT SHEETS

THE KEITH CORPORATION

PROJECT TL
MESA, AZ

22417
RICHARD R. BUTLER
04-03-17
Date Signed
ARIZONA, U.S.A.
EXPIRES: 3/31/2020

Butler Design Group, Inc
architects & planners



Plan View
Scale - 1" = 30ft

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	EM	30	Lithonia Lighting	AFN FWD	ARCHITECTURAL EMERGENCY LIGHTING, LED LIGHT SOURCE, FORWARD THROW OPTICS, CLEAR FROSTED LENS. WALL MOUNTED @ 8'	LED	2	AFN_FWD.ies	Absolute	0.91	0
	SA	15	Lithonia Lighting	DSX1 LED 40C 700 40K TFTM MVOLT HS SSS 21' wf BASE	DSX1 LED with 40 LEDs @ 700 mA , 4000K , TYPE FOREWARD THROW MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1_LED_40C_700_40K_TFTM_MVOLT_HS.ies	6743	0.91	89
	SA2	2	Lithonia Lighting	DSX1 LED 80C 1000 40K TFTM MVOLT SSS 22.5' w/2.5' BASE	DSX1 LED with 80 LEDs @ 1000 mA , 4000K , TYPE FOREWARD THROW MEDIUM OPTICS	LED	1	DSX1_LED_80C_1000_40K_TFTM_MVOLT.ies	21875	0.91	410
	SB2	1	Lithonia Lighting	DSX1 LED 80C 1000 40K TFW MVOLT SSS 22.5' w/2.5' BASE	DSX1 LED with 80 LEDs @ 1000 mA , 4000K , TYPE 5 WIDE OPTICS	LED	1	DSX1_LED_80C_1000_40K_TFW_MVOLT.ies	22077	0.91	209
	SC	4	Lithonia Lighting	DSX1 LED 80C 1000 40K TFS MVOLT HS SSS 22.5' w/2.5' BASE	DSX1 LED with 80 LEDs @ 1000 mA , 4000K , TYPE 3 SHORT OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1_LED_80C_1000_40K_TFS_MVOLT_HS.ies	18448	0.91	209
	SD	26	Lithonia Lighting	DSX1 LED 80C 1000 40K TAM MVOLT WBA @ 20'	DSX1 LED with 80 LEDs @ 1000 mA , 4000K , TYPE 2 MEDIUM OPTICS	LED	1	DSX1_LED_80C_1000_40K_TAM_MVOLT.ies	22206	0.91	209
	SD2	3	Lithonia Lighting	DSX1 LED 80C 1000 40K TOM MVOLT	DSX1 LED with 80 LEDs @ 1000 mA , 4000K , TYPE 2 MEDIUM OPTICS	LED	1	DSX1_LED_80C_1000_40K_TOM_MVOLT.ies	21735	0.91	209
	SF	4	Gotham Architectural Lighting	EVO 20/10 6AR MWQ LE MVOLT E210 / MOUNTED @ 16'	10WLM 80 CRI 2000K 6" EVO ROUND DOWNLIGHT SPECULAR	LED	1	EVO_20_10_6AR_MWQ_LE.ies	1056	0.91	11.75
	SFE	1	Gotham Architectural Lighting	EVO 20/10 6AR MWQ LE MVOLT E210 EL / MOUNTED @ 16'	10WLM 80 CRI 2000K 6" EVO ROUND DOWNLIGHT SPECULAR WEM BATTERY PACK	LED	1	EVO_20_10_6AR_MWQ_LE.ies	1056	0.91	11.75
	SG	4	Lithonia Lighting	DSXWY1 LED 10C 1000 40K TAM MVOLT WM / MOUNTED @ 10'	DSXWY1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE TAM OPTIC, 4000K, @ 1000mA.	LED	1	DSXWY1_LED_10C_1000_40K_TAM_MVOLT.ies	3705	0.91	38.8

Power Statistics

Description	# Luminaires	Total Watts	Area	Density
Power Density	104	11537.2 W	388142.0 ft²	0.0 W/ft²

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC MPG	+	1.6 fc	10.0 fc	0.0 fc	N/A	N/A
FC PL	×	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

SITE PHOTOMETRIC PLAN

SCALE: 1"= 60'-0"

0 30' 60' 120'

SCALE: 1" = 60'

04-03-2017

16093_SITE PHOTOMETIC PLAN

PROJECT TL

MESA, AZ

THE KEITH CORPORATION

22417
RICHARD R.
BUTLER
04-03-17
Date Signed
ARIZONA, U.S.A.
EXPIRES: 3/31/2020

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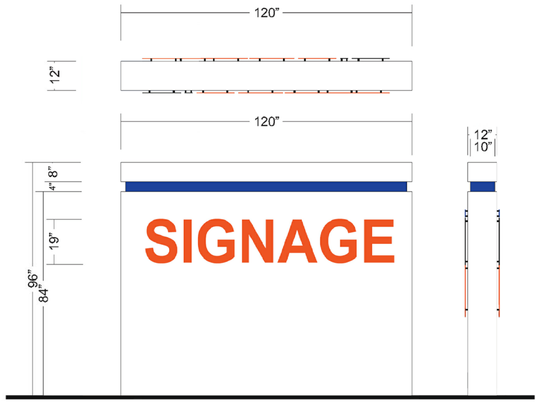
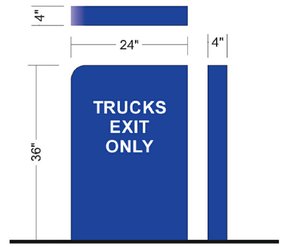


- "SIGNAGE" IS NON ILLUMINATED 1/4" THICK ALUMINUM PLATE PIN MOUNTED TO CABINET FACE.
- TRADEMARK AND "BOTTLING, LLC" IS VINYL COPY; WATER DROP DETAIL IS VINYL COPY.
- ADDRESS AND DIRECTIONAL INFORMATION IS REFLECTIVE WHITY VINYL.

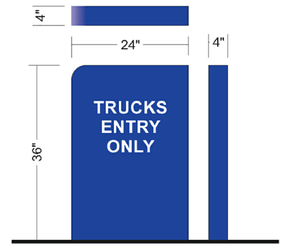
COLOR CHART

PANTONE 172C

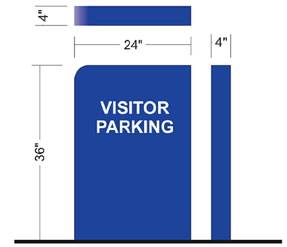
PANTONE 286C



SINGLE SIDED DIRECTIONAL SIGN
WITH WHITE REFLECTIVE VINYL

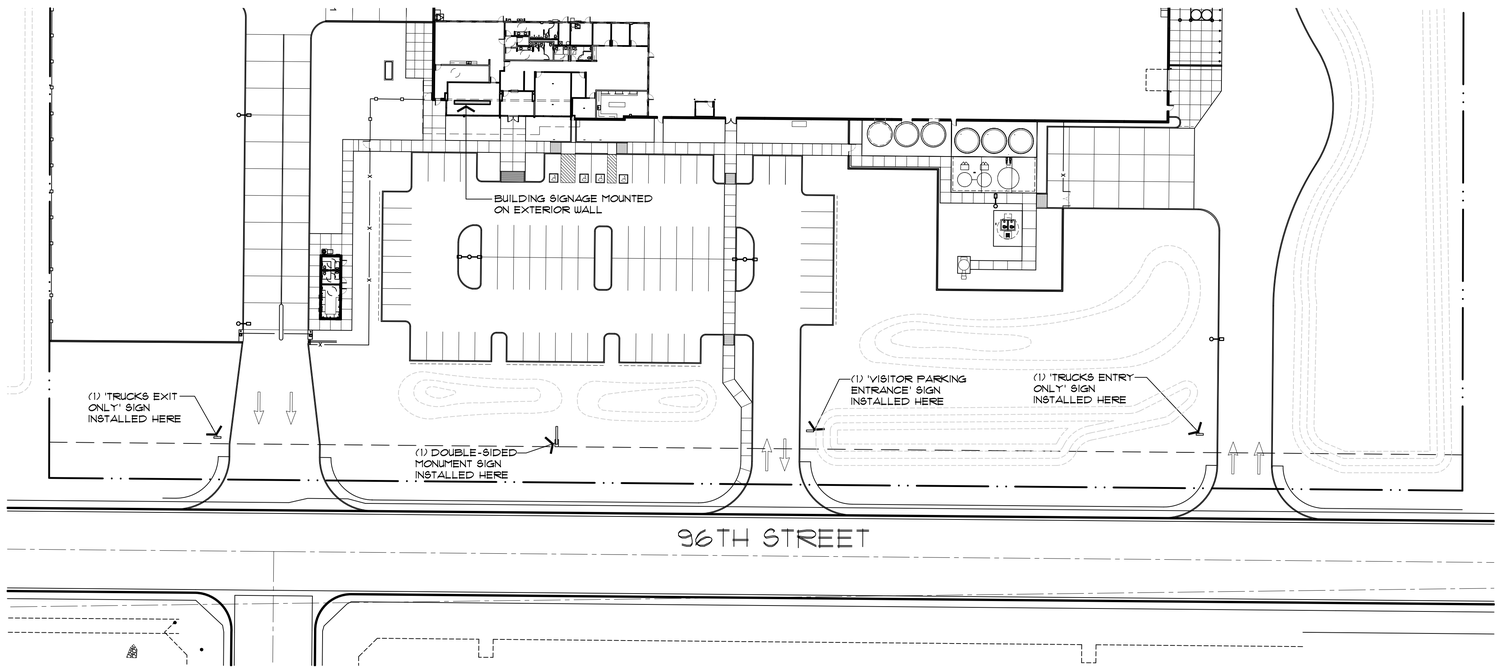


SINGLE SIDED DIRECTIONAL SIGN
WITH WHITE REFLECTIVE VINYL



SINGLE SIDED DIRECTIONAL SIGN
WITH WHITE REFLECTIVE VINYL

ONE (1) SET OF MINIMUM 3" DEEP INTERNALLY ILLUMINATED LETTERS
WATER DROP IS FACE LIGHTED



SITE SIGNAGE PLAN

SCALE: 1"= 40'-0"

0 20' 40' 80'

SCALE: 1" = 40'

04-03-2017

16093_SITE SIGNAGE PLAN

THE KEITH CORPORATION

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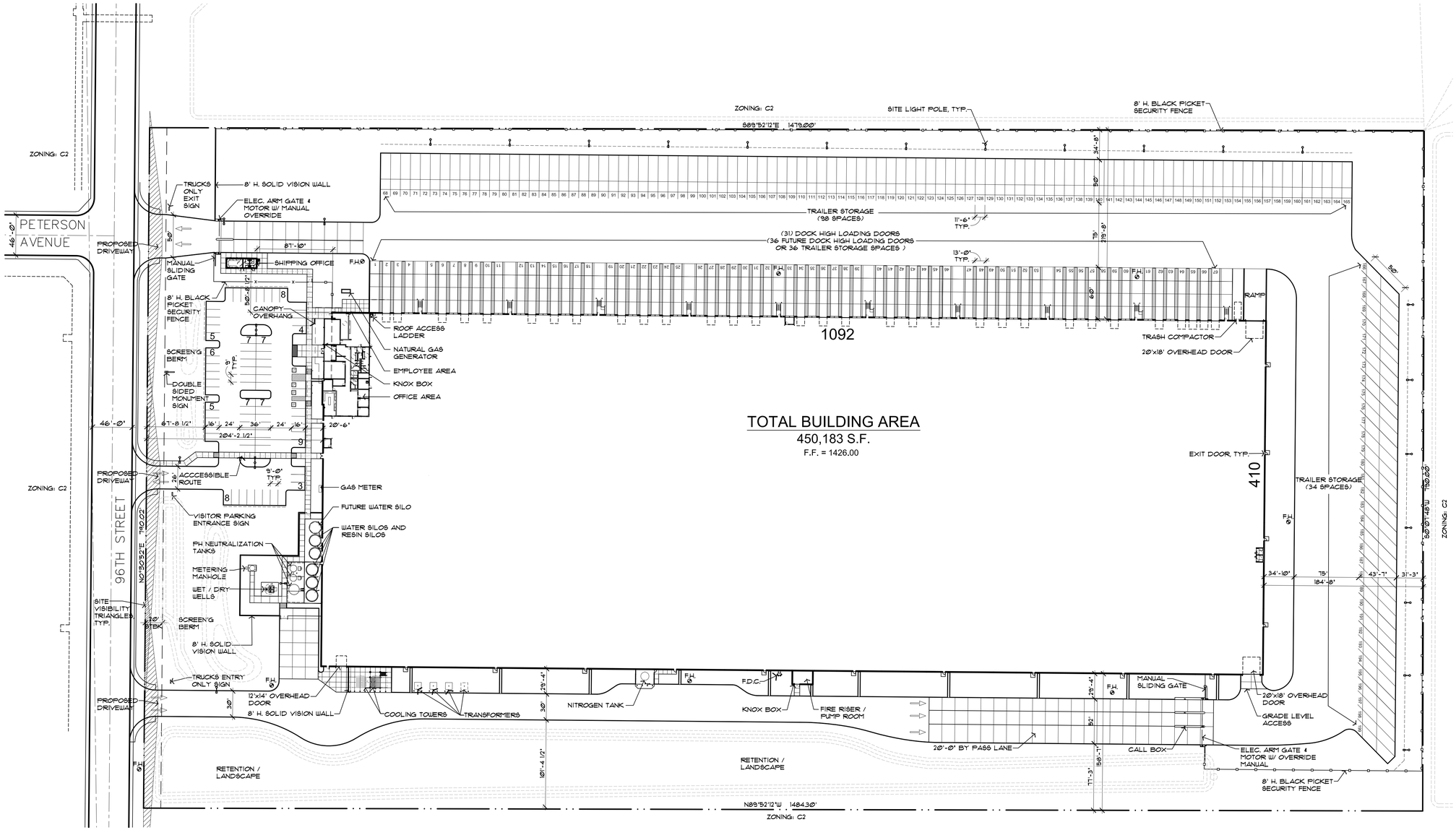

TOTAL BUILDING AREA

450,183 S.F.

F.F. = 1426.00

PROPOSED SITE DATA

PROJECT ADDRESS:
SOUTHEAST CORNER OF THE INTERSECTION OF PETERSON AVENUE AND 96TH STREET

GOVERNING CODES:
2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL PLUMBING CODE
2005 NATIONAL ELECTRICAL CODE
2006 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE

GROSS SITE AREA:	1,202,105 S.F. (27.6 AC.)
NET SITE AREA:	1,170,504 S.F. (26.87 AC.)
WAREHOUSE:	450,183 S.F.
SHIPPING OFFICE:	432 S.F.
COVERAGE:	450,615 S.F. / 1,170,504 S.F. = 38.5%
LANDSCAPE AREA:	320,191 S.F.
LANDSCAPE COVERAGE:	50%
SITE ZONING:	C2
BUILDING OCCUPANCY:	B- OFFICE F1 - FACTORY S1 - STORAGE
CONSTRUCTION TYPE:	II-B
PROPOSED BUILDING HEIGHT:	49 FT. (T.O.P.)

BUILDING AREA(S):

F-1	179,878 S.F.
S-1	263,511 S.F.
B	6,408 S.F.
FIRE RISER	386 S.F.
TOTAL BLDG. AREA	450,183 S.F.
SHIPPING OFFICE:	432 S.F.

OCCUPANT LOAD:

F-1	179,878 S.F./100 = 1,799 OCC.
S-1	263,897 S.F./500 = 528 OCC.
B	6,408 S.F./100 = 65 OCC.
TOTAL OCCUPANT LOAD	2,392 OCC.

PARKING:	REQUIRED	PROVIDED
OFFICE AREA & S.O. (1/300)	: 22 SPACES	
INDUSTRIAL (1/600)	: 300 SPACES	
WAREHOUSE (1/1,000 FOR 0 - 150,000) (1/2,000 FOR 150,001 - 500,000) (1/2,500 OVER 500,001)	: 207 SPACES	
TOTAL PARKING - REDUCTION APPROVED PER VARIANCE	: 529 SPACES	: 76 SPACES
TRAILER PARKING		: 168 SPACES
ACCESSIBLE PARKING (2% OF SUPPLIED PARKING STALLS)	: 11 SPACES	: 4 SPACES

DEVELOPER:
THE KEITH CORPORATION
5935 CARNEGIE BLVD.
SUITE 200
CHAROLETTE, N.C. 28209
PH: 704-365-6000
CONTACT: DEREK SALFIA
EMAIL:
DSALFIA@THEKEITHCORP.COM

ARCHITECT:
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SUITE 107
PHOENIX, AZ 85034
PH: 602-957-1800
CONTACT: CLAY CHIAPPINI
EMAIL:
CLAYC@BUTLERDESIGNGROUP.COM

LEGAL DESCRIPTION

A PORTION OF LOT 8, FIRST MESA COMMERCE PARK, PHASE 1 AMENDED AS RECORDED IN BOOK 1167 OF MAPS, PAGE 45 OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER AND A PORTION OF A PARCEL OF LAND RECORDED IN DEED NO. 2013-1008915, BEING A PORTION OF SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE SALT RIVER BASE AND MERIDIAN , MARICOPA COUNTY, ARIZONA.

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 10, BEING A FOUND BRASS CAP IN HAND HOLE, FROM WHICH THE SOUTHEAST CORNER, BEING A BRASS CAP FLUSH, BEARS SOUTH 89°30'04" EAST, FOR A DISTANCE OF 2629.04 FEET;

THENCE NORTH 00°30'52" EAST, ALONG THE MONUMENT LINE OF SOUTH 96TH STREET, FOR A DISTANCE OF 683.85 FEET;

THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 40.00 FEET, TO A POINT ON THE EAST RIGHT OF WAY LINE OF SAID 96m STREET AND THE POINT OF BEGINNING;

THENCE NORTH 00°30'52" EAST, ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 719.09 FEET;

THENCE NORTH 00°30'55" EAST, CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 70.93 FEET;

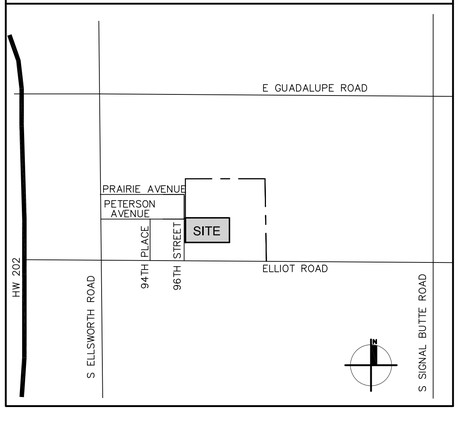
THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 1479.00 FEET;

THENCE SOUTH 00°07'48" WEST, FOR A DISTANCE OF 790.00 FEET;

THENCE NORTH 89°52'12" WEST, FOR A DISTANCE OF 1484.30 FEET, TO THE POINT OF BEGINNING

SAID PARCEL CONTAINS 26.871 ACRES (1,170,505 S.F.) MORE OR LESS

VICINITY MAP



SITE PLAN

SCALE: 1"= 60'-0"

0 30' 60' 120'

SCALE: 1" = 60'

04-03-2017
16093_SITE PLAN

PROJECT TL

MESA, AZ

THE KEITH CORPORATION

32417 RICHARD R. BUTLER 04-03-17 Not Valid Without Signature ARIZONA, U.S.A.
EXPIRES: 3/31/2020

Butler Design Group, Inc
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CONCEPTUAL GRADING, DRAINAGE AND UTILITY PLANS
FOR
PROJECT T.L.
SOUTH 96TH ST
MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

RETENTION CALCULATIONS

DRAINAGE AREA: 26.82 AC

RETENTION REQUIRED (10YR–2HR EVENT): ONSITE

TOTAL REQUIRED =194,872 CU.FT.

ONSITE RETENTION:

VR=(C)(P/12)(A)=VR
(0.90)*(2.2/12)*(26.82)*(43,560)=192,767 CU.FT.

TOTAL PROVIDED	194,872 CU.FT.
TOTAL REQUIRED	192,767 CU.FT.
TOTAL EXCESS	2105 CU.FT.

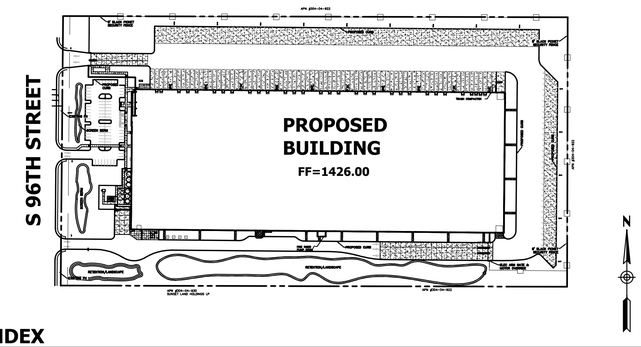
OFFSITE RETENTION:

TOTAL PROVIDED	9,553 CU.FT.
TOTAL REQUIRED	9,322 CU.FT.
TOTAL EXCESS	231 CU.FT.

FUTURE PHASE RETENTION:

VR=(C)(P/12)(A)=VR
(0.50)*(2.2/12)*(108.25)*(43,560)=432,242 CU.FT.

TOTAL PROVIDED	437,489 CU.FT.
TOTAL REQUIRED	432,242 CU.FT.
TOTAL EXCESS	5,247 CU.FT.



MAP INDEX

SCALE: NTS

SHEET INDEX

CIVIL SHEET

COVER SHEET . . . C1
CONCEPTUAL GRADING & DRAINAGE PLANS . . . C2
CONCEPTUAL UTILITY PLANS . . . C3

EXISTING LEGEND

RIGHT OF WAY
PROPERTY LINE
CENTERLINE
EASEMENT LINE
WATER LINE — 8" ACP W
WATER LINE — 16" ACP W
SANITARY SEWER LINE — 6" VCP SS
SPOT ELEVATION — 1349.16 P
FIRE HYDRANT
WATER VALVE
IRRIGATION CONTROL VALVE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
SIGN
LIGHT POLE
ELECTRICAL RISER
ELECTRICAL CABINET

PROPOSED LEGEND

DIRECTION OF SLOPE
SEWER LINE
WATER LINE
FIRE LINE
EASEMENT
SAWCUT
GRADE BREAK
CATCH BASIN
DRYWELL
SPOT ELEVATION — 90.50P
SECTION CALLOUT
FLOW LINE
BACKFLOW PREVENTOR
TAPPING SLEEVE & VALVE
SANITARY SEWER CLEANOUT

OWNER/DEVELOPER

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CONTACT: DEREK SALFIA

ARCHITECT

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CONTACT: CLAY CHIPINI

CIVIL ENGINEER

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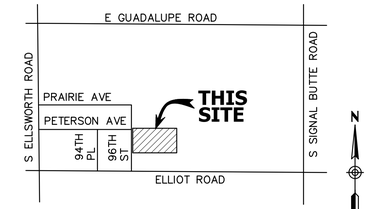
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991–3985
FAX: (480) 991–3986
CONTACT: JEFF NORMAN



VICINITY MAP

NTS

SITE NET ACREAGE: 26.92 ACRES

APN

304–04–922

BENCHMARK

BRASS TAG T.C. SOUTH EAST CORNER OF ELLSWORTH AND ELLIOT. ELEVATION 1405.91

BASIS OF BEARING

A BEARING OF NORTH 00°43'13" EAST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER SECTION 10, AS DEPICTED ON THE FINAL PLAT OF "FIRST MESA COMMERCE PARK, PHASE 1 AMENDED" AS RECORDED IN BOOK 1176 OF MAPS, PAGE 45, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.

ABBREVIATIONS

APN	ASSESSOR PARCEL NUMBER	P	PAVEMENT
BC	BACK OF CURB	PAE	PUBLIC ACCESS EASEMENT
BOT	BOTTOM	PDE	PUBLIC DRAINAGE EASEMENT
BRW	BOTTOM OF RETAINING WALL	PL	PROPERTY LINE
	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
	CENTERLINE	PC	PAVEMENT/CONCRETE
CF	CUBIC FEET	RCW	RECLAIMED WATER
CFS	CUBIC FEET PER SECOND	RW	RIGHT OF WAY
CY	CUBIC YARD	SD	STORM DRAIN
DE	DRAINAGE EASEMENT	SF	SQUARE FEET
DW	DRYWELL	SS	SANITARY SEWER
EA	EACH	STA	SIDEWALK
EG	EXISTING GRADE	SW	STATION
EL	ELEVATION	SY	SQUARE YARDS
EP	EDGE OF PAVEMENT	TC	TOP OF CURB
ESMT	EASEMENT	TEL	TELEPHONE
EX	EXISTING	TF	TOP OF FOOTING
FF	FINISH FLOOR	THR	TOP OF HANDRAIL
FG	FINISH GRADE	TRW	TOP OF RETAINING WALL
FL	FLOWLINE	TW	TOP OF WALL
	GUTTER	UGFO	UNDERGROUND FIBER OPTIC
GB	GRADE BREAK	UGE	UNDERGROUND ELECTRIC
GR	GRATE	UGT	UNDERGROUND TELEPHONE
HW	HIGH WATER	UTS	UNDERGROUND TRAFFIC SIGNAL
	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE
IRR	IRRIGATION	VG	VALLEY GUTTER
LF	LINEAR FEET	VNAE	VEHICULAR NON–ACCESS EASEMENT
LIE	LANDSCAPE IRRIGATION EASEMENT	VOL	VOLUME
LP	LOW POINT	VP	VOLUME PROVIDED
MUTE	MULTI USE TRAIL EASEMENT	VR	VOLUME REQUIRED
NTS	NOT TO SCALE	W	WATER
OHE	OVERHEAD ELECTRIC	WLE	WATER LINE EASEMENT

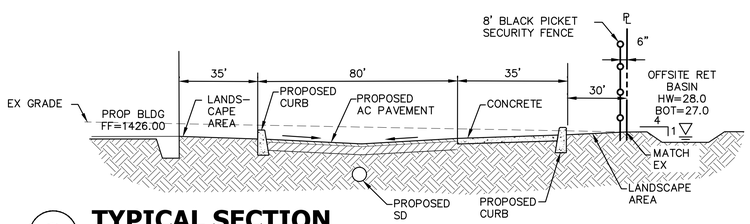
DRAINAGE STATEMENT

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2280L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X.

ZONE: X IS DEFINED AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

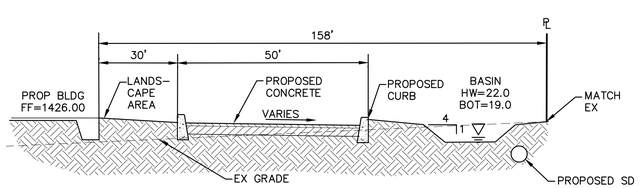
LEGAL DESCRIPTION

A PORTION OF LOT 8, FIRST MESA COMMERCE PARK, PHASE 1 AMENDED AS RECORDED IN BOOK 1167 OF MAPS, PAGE 45 OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER AND A PORTION OF A PARCEL OF LAND RECORDED IN DEED NO. 2013–1008915, BEING A PORTION OF SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 10, BEING A FOUND BRASS CAP IN HAND HOLE, FROM WHICH THE SOUTHEAST CORNER, BEING A BRASS CAP FLUSH, BEARS SOUTH 89°30'04" EAST, FOR A DISTANCE OF 2629.04 FEET; THENCE NORTH 00°30'52" EAST, ALONG THE MONUMENT LINE OF SOUTH 96TH STREET, FOR A DISTANCE OF 683.85 FEET; THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 40.00 FEET, TO A POINT ON THE EAST RIGHT OF WAY LINE OF SAID 96TH STREET AND THE POINT OF BEGINNING; THENCE NORTH 00°30'52" EAST, ALONG SAID EAST RIGHT OF WAY LINE FOR A DISTANCE OF 719.09 FEET; THENCE NORTH 00°30'55" EAST, CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, FOR A DISTANCE OF 70.93 FEET: THENCE SOUTH 89°52'12" EAST, FOR A DISTANCE OF 1479.00 FEET; THENCE SOUTH 00°07'48" WEST, FOR A DISTANCE OF 790.00 FEET; THENCE NORTH 89°52'12" WEST, FOR A DISTANCE OF 1484.30 FEET, TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 26.871 ACRES (1,170,505 S.F.) MOR OR LESS.



3 TYPICAL SECTION

NTS



4 TYPICAL SECTION

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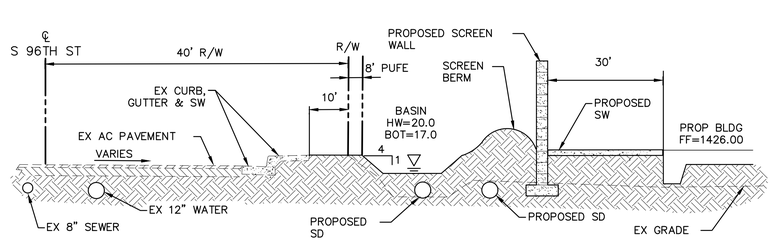

1 TYPICAL SECTION

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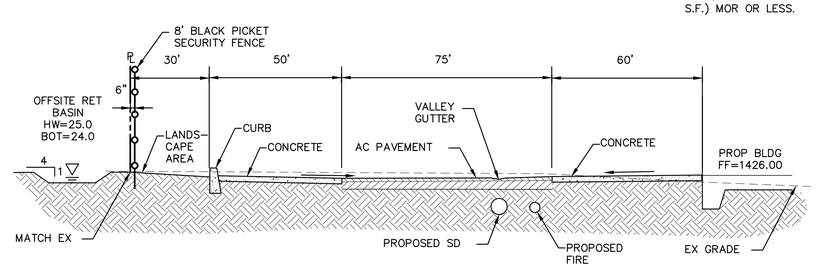


2 TYPICAL SECTION

NTS

NO.	DATE	REVISION	BY

PURPOSE: CONCEPTUAL 4-3-17

DESIGN BY: JJN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER ENGINEERING CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY PLANS – NOT FOR CONSTRUCTION

CONCEPTUAL GRADING & UTILITY PLAN FOR PROJECT T.L. SOUTH 96TH STREET MESA, ARIZONA

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811 BLUE STAKE, INC.
CALL 811 OR CLICK ARIZONA811.COM

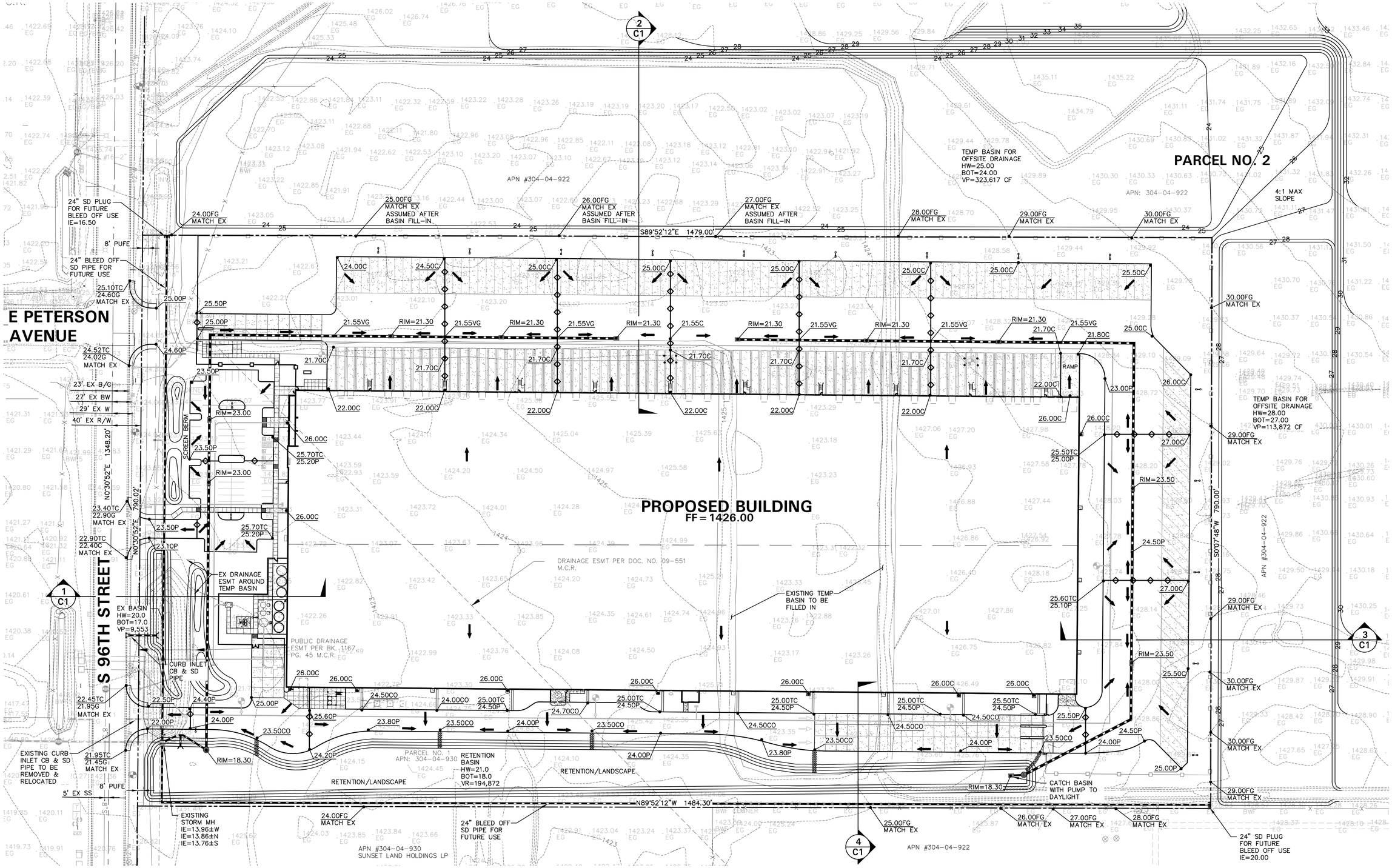
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: PRTL001

SCALE NTS

SHEET C1

CONCEPTUAL GRADING & DRAINAGE PLAN



NO.	DATE	REVISION	BY

PURPOSE: CONCEPTUAL 4-3-17

DESIGN BY: JJN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 220
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY PLANS – NOT FOR CONSTRUCTION

CONCEPTUAL GRADING AND DRAINAGE FOR PROJECT T.L. SOUTH 96TH STREET MESA, ARIZONA

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
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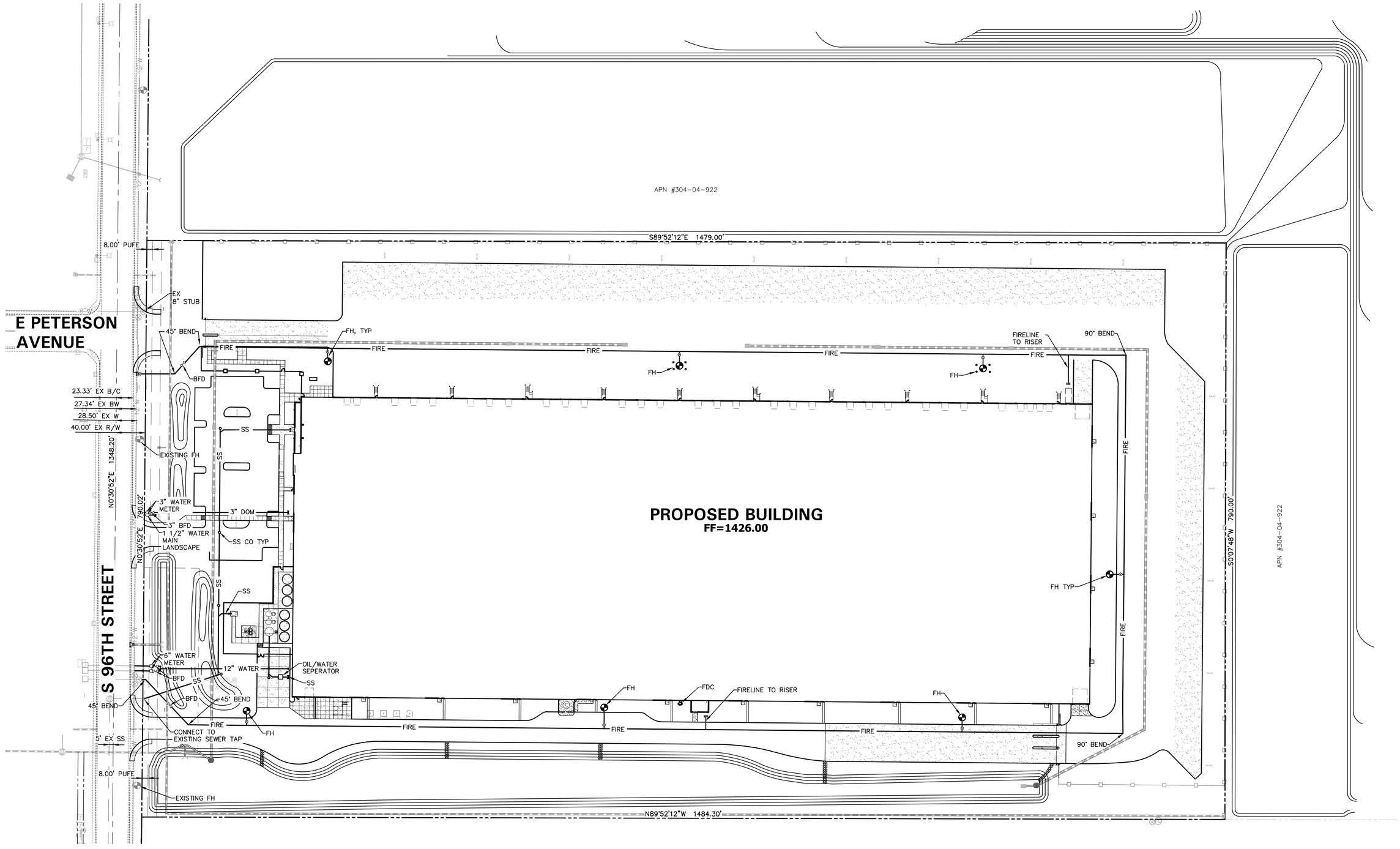
THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: PRTL001

SCALE 1"=60'

SHEET C2

CONCEPTUAL UTILITY PLAN



NO.	DATE	REVISION	BY

PURPOSE: CONCEPTUAL 4-3-17

DESIGN BY: JJN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY PLANS
–
NOT FOR CONSTRUCTION

CONCEPTUAL UTILITY PLAN
FOR
PROJECT T.L.
SOUTH 96TH STREET
MESA, ARIZONA

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
AR ZONA811
BLUE STAKE, INC.
CALL 811 OR CLICK ARIZONA811.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

HE JOB NO.: PRTL001

SCALE 1"=60'

SHEET C3

LANDSCAPE DATA

LANDSCAPE AREA	320,191 S.F
LANDSCAPE COVERAGE	50%

CITY OF MESA PLANT DATA

96TH ST. FRONTAGE (700 L.F.)	REQUIRED	PROVIDED
1 TREE PER 25 L.F. OF STREET FRONTAGE	28 TREES	30 TREES
PROPERTY PERIMETER (3748 L.F.)	**REQUIRED**	**PROVIDED**
3 NON DECIDUOUS TREE PER 100 L.F. OF ADJACENT PROPERTY LINE	113	118 TREES
TREE SIZE	**REQUIRED**	**PROVIDED**
36" BOX (25% MIN.)	36 TREES	36 TREES
24" BOX (50% MIN.)	71 TREES	181 TREES

PLANT LEGEND

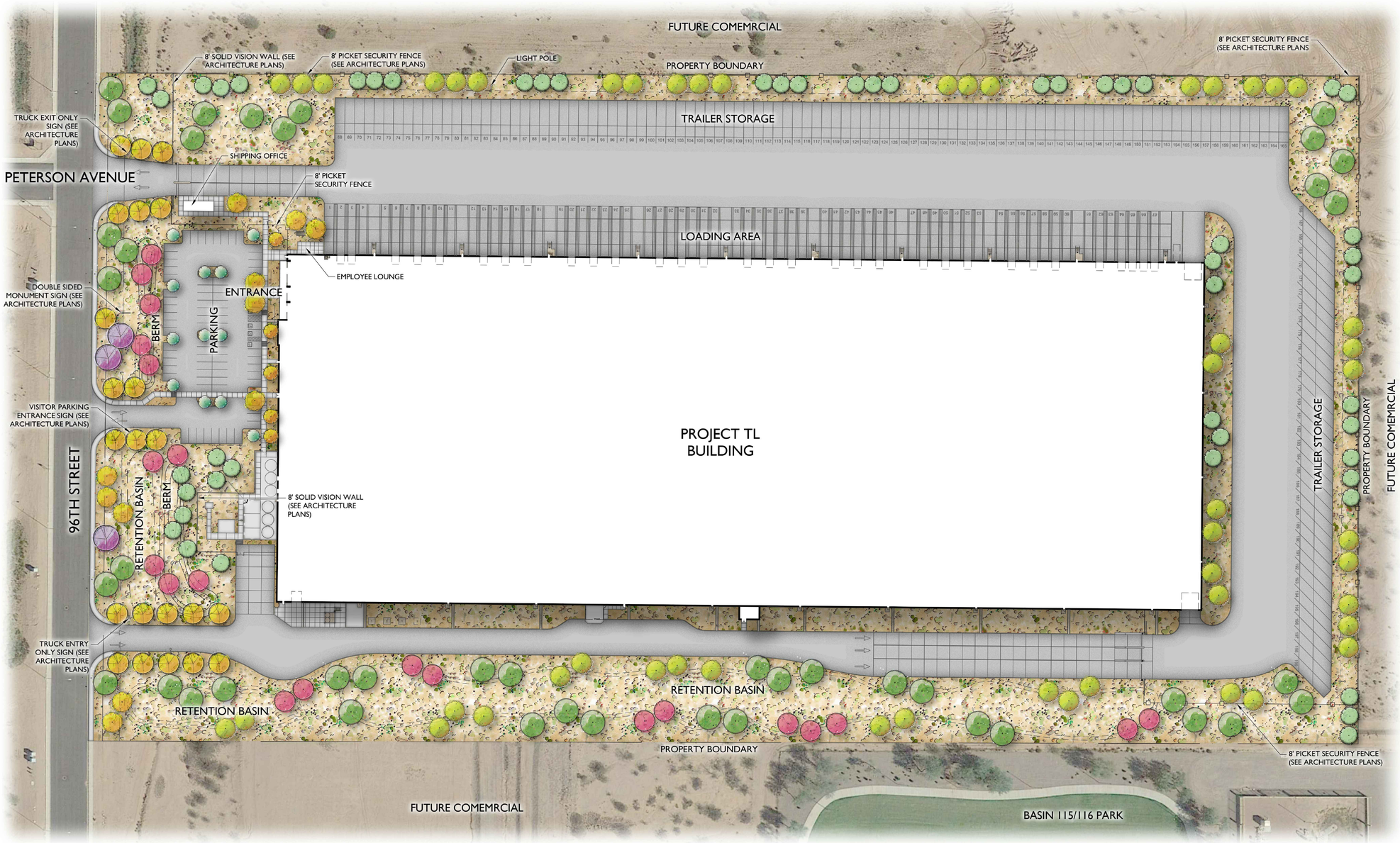
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
TREES				
	Acacia aneura	Mulga	24" Box	12
	Acacia farnesiana	Sweet Acacia	24" Box 36" Box	1 21
	Acacia salicina	Willow Acacia	24" Box	50
	Chilopsis linearis	Desert Willow	24" Box	21
	Caesalpinia cacalaco	Cascalote	24" Box	5
	Olnaya tesota	Ironwood	36" Box	3
	Parkinsonia praecox	Palo Brea	24" Box	50
	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	24" Box 36" Box	7 4
	Prosopis hybrid 'Phoenix'	Thornless Mesquite	24" Box 36" Box	35 8

SHRUBS/ACCENTS	COMMON NAME	SIZE	QTY
Agave desmettiana	Smooth Agave	5 Gal	-
Asclepias subulata	Desert Milkweed	5 Gal	-
Bougainvillea 'La Jolla'	'La Jolla' Bougainvillea	5 Gal	-
Calliandra eriophylla	Pink Fairy Duster	5 Gal	-
Dasylirion acrotrichum	Green Desert Spoon	5 Gal	-
Eremophila maculata 'Valentine'	'Valentine' Emu Bush	5 Gal	-
Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca	5 Gal	-
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage	5 Gal	-
Leucophyllum frutescens	Texas Sage	5 Gal	-
Muhlenbergia rigens	Deer Grass	5 Gal	-
Ruellia pennisularis	Desert Ruellia	5 Gal	-
Simmondsia chinensis 'Vista'	Compact Jojoba	5 Gal	-

GROUNDCOVERS	COMMON NAME	SIZE	QTY
Eremophila prostrata 'Outback Sunrise'	'Outback Sunrise'	1 Gal	-
Lantana montevidensis	Trailing Purple Lantana	1 Gal	-
Lantana x 'New Gold'	New Gold Lantana	1 Gal	-

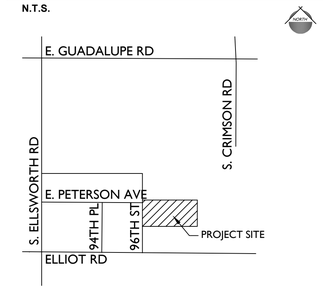
MATERIALS

1" Screened Table Mesa Brown
2" Min. Depth



VICINITY MAP

N.T.S.



NORTH

0 30' 60' 120'

Scale: 1" = 60'-0"

Butler Design Group, Inc
architects & planners

17-130

THE KEITH CORPORATION

Project TL

Mesa, AZ

Landscape Plan

L-1.01
04/03/2017

REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 40702
THOMAS E. SNYDER
ARIZONA, U.S.A.
Date Signed 04-03-17
EXPIRES: 06/30/19

EPS GROUP

HUNTER
ENGINEERING

CIVIL AND SURVEY

Preliminary Drainage Report
For
PROJECT T.L.
96TH Street & Peterson Avenue
Mesa, Arizona 85212

April 2017

Registered Professional Engineer (Civil)
CERTIFICATE NO.
20938
JEFFREY J.
NORMAN
Date Signed 4.3.17
ARIZONA, U.S.A.

EXPIRES 09.30.17

Prepared by:
Hunter Engineering, P.C.
10450 North 74th Street, #200
Scottsdale, AZ 85258

PRELIMINARY DRAINAGE REPORT
FOR

PROJECT T.L.

96TH ST. & PETERSON AVE.
MESA, ARIZONA 85212

PREPARED FOR

THE KEITH CORPORATION
5935 CARNEGIE BLVD.
SUITE 200
CHARLOTTE, NC 28209

PREPARED BY
Dave Cracknell
HUNTER ENGINEERING, P.C.
10450 NORTH 74TH STREET, #200
SCOTTSDALE, AZ 85258
(480) 991-3985

APRIL 2017

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3.0	Proposed Drainage Concept.....	1
4.0	Conclusions.....	3
5.0	References.....	3

FIGURES	TITLE	LOCATION
1	Vicinity Map.....	Appendix A
2	FEMA Flood Map.....	Appendix A
3	FEMA 2785L Flood Map.....	Appendix A

EXHIBITS	TITLE	LOCATION
A	Conceptual Grading Plan	Back Pocket

APPENDIX	TITLE
A	Figures
B	Retention Basin Calculations

1.0 INTRODUCTION

This preliminary drainage report has been prepared under a contract from Mr. Derek Salfia of "The Keith Corporation" developer of Project T. L. The purpose of this report is to provide a preliminary drainage analysis, required by the City of Mesa, to support this development. Preparation of this report has been done according to the procedures detailed in the *City of Mesa Engineering Procedure Manual, 2012* (Reference 1).

This development project is located east of Ellsworth Road on the east side of 96th Street and Peterson Ave within the City of Mesa, Maricopa County, Arizona. The site is specifically located in the Southwest Quarter of Section 10, Township 1 South, Range 7 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. Figure 1, in Appendix A, illustrates the location of the project site in relation to the City of Mesa street system. Access to the site will be provided from South 96th Street.

The proposed development is approximately 26.82 ± acres in size. Improvements to be made on-site include a new building, parking lot, drives, and the construction of surface retention basins, underground utilities and landscaped areas. Exhibit A, located in the back of this report, illustrates the proposed improvements for the project.

2.0 EXISTING DRAINAGE CONDITIONS

The proposed site is located on an undeveloped rough graded parcel with existing ground cover consisting of short grasses, dirt and gravel. In its current unimproved condition, the overall project site drains primarily to the west at an average slope of 0.5%. There is a 1-foot deep existing temporary retention basin located on the proposed site intercepting flows from the northeast (Phase III of First Mesa Commerce Park). This existing temporary basin is to be reconfigured outside of the project site as part of the development, as shown on Exhibit "A".

The current FEMA Flood Insurance Rate Map (FIRM) for this area, map number 04013C2760 L (Revision date October 16, 2013) shows the westerly third of the project site is within flood hazard "Zone X dotted". Zone X dotted is defined by F.E.M.A. as *"areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage area less than 1 square mile; and areas protected by levees from 1% annual chance flood"*. The remaining easterly two-thirds of the site is located in Zone D map number 04013C2785 L (Revision date October 16, 2013). Zone D panels are not printed by FEMA. Zone D is defined by F.E.M.A as *"areas of which flood hazards are undetermined, but possible."* (Figure 3, Appendix A).

3.0 PROPOSED DRAINAGE CONCEPT

The proposed drainage concept is presented in three parts: on-site drainage conveyance, off-site drainage conveyance, and storm water retention. These three sections make up sections 3.1,

3.2, and 3.3 respectively. Exhibit A, located in the back of this report, provides a graphical illustration of the proposed drainage concept.

3.1 On-site Drainage Conveyance

The onsite drainage will be conveyed via roof drains and overland flow across the parking lot and drives into catch basins and curb openings that outlet into the retention basins located along the south property line. The building finish floor elevation of 1426.00 was set in accordance with the City of Mesa requirements, which mandates the finish floor elevation to be at least 1-foot above the high-water elevation of the site retention basins and more than 14" above the site low outfall.

3.2 Off-site Drainage Conveyance

The site currently accepts half-street storm water run-on from the frontage of South 96th Street. This half-street flow is collected via existing catch basins and conveyed it into the permanent retention basin located at the southern end of the site. Per the Drainage Report for First Mesa Commerce Centre Phase I Prepared by David Evans & Associates and the As-built documentation for the above mentioned project the current retention along the frontage of 96th street is 9,322 cubic feet. The reconfigured permanent basin will provide 9,553 cubic feet of retention. Storm water in the retention basin will be metered via the 8" into an existing 24" pipe constructed as part of the Phase II development,

The site encompasses part of Phase I and Phase III of the First Mesa Commerce Park. Per the Phase II drainage reports and as-built plans prepared by Burke Engineering Group (references 5 & 7). All new development will retain the volume equal to a 100-year 2-hour storm as detailed in section 3.3. The Temporary retention basin constructed as part of the Phase II development will be reconfigured to be outside of the developed site.

Of the sites 26.82 acres, 14 acres lies within the phase III portion of First Mesa Commerce Park. This reduced the undeveloped area of phase III from 122.25 acres (reference 5) tor 108.25 acres. Because of the development of the site the undeveloped phase III retention has been reduced

Calculation for the new Phase III temporary basin is as follows:

$$VR = C * P/12 * A$$

Where:

VR	=	Required retention volume in acre-feet
P	=	100-year, 2-hour rainfall intensity (2.2)
A	=	Drainage area = 4,715,370 sf (108.25 acres)
C	=	Runoff coefficient 0.50 (Undeveloped Desert)
VR	=	(0.50) * (2.2 /12) * 4,715,370 = 432,242 cu-ft. (9.92 ac. Ft.)

The volume requirement of 432,242 cubic-feet will be satisfied by the reconfigured 1-foot deep temporary retention basin.

The existing 24" pipe constructed as part of the Phase II development, will be extended to the north and east boundaries of the site for future use by the Mesa Commerce Park Phase III development.

3.3 Storm Water Retention

The City of Mesa requires that all runoff from the 100-year, 2-hour event generated from the project site be retained within the project site.

The required onsite retention volume for the Project T. L. is calculated as follows:

$VR = C * P/12 * A$

Where:

V_R = Required retention volume in acre-feet

P = 100-year, 2-hour rainfall intensity (2.2)

A = Drainage area = 1,168,279.20 sf (26.82 acres)

C = Runoff coefficient 0.90 (Commercial)

V_R = (0.90) * (2.2 /12) * 1,168,279.20 = 192,766 cu-ft.

The volume requirement of 192,766 cubic-feet will be satisfied by the on-site retention basins. The retention required and provided worksheets are located in appendix B. The ponding depth for the 100-year, 2-hour storm event in the retention basins will not exceed 3 ft. Storm water in the retention facilities will be metered via the 8" into an existing 24" pipe constructed as part of the Phase II development, at 1.51 cfs then conveyed westerly towards Ellsworth Road.

The 100-yr high water surface elevation for all on-site retention basins is 1421.00, which is 5-feet lower than the lowest finished floor elevation of 1426.00.

The existing extreme outfall elevations for this site is the top of curb at the south side of the south driveway to the site at an elevation of 1421.95±. This is 4.05 feet lower than the finish floor elevation of 1426.00.

4.0 CONCLUSIONS

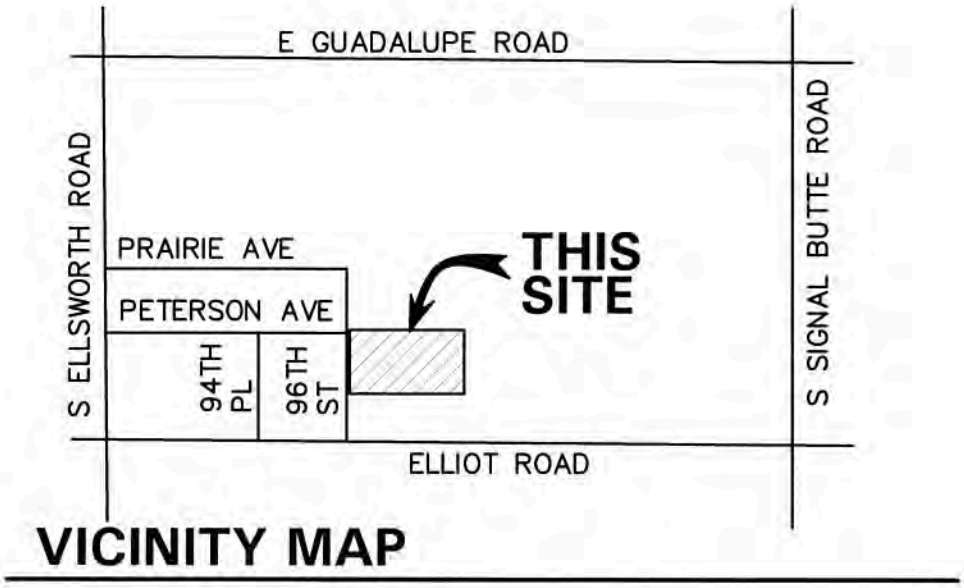
Based on the results of this study, it can be concluded that:

- The site will retain the development retention requirements for the 100-year, 2-hour storm event.
- The lowest proposed finished floor elevation is more than 12-inches above the 100-year water surface elevation in the proposed retention basins.
- The site will retention half-street frontage along 96th Street.
- The site will construct a reconfigured 1-foot deep temporary retention basins beyond the site boundaries to capture the remaining undeveloped phase III runoff from First Mesa Commerce Park half-street frontage along 96th Street

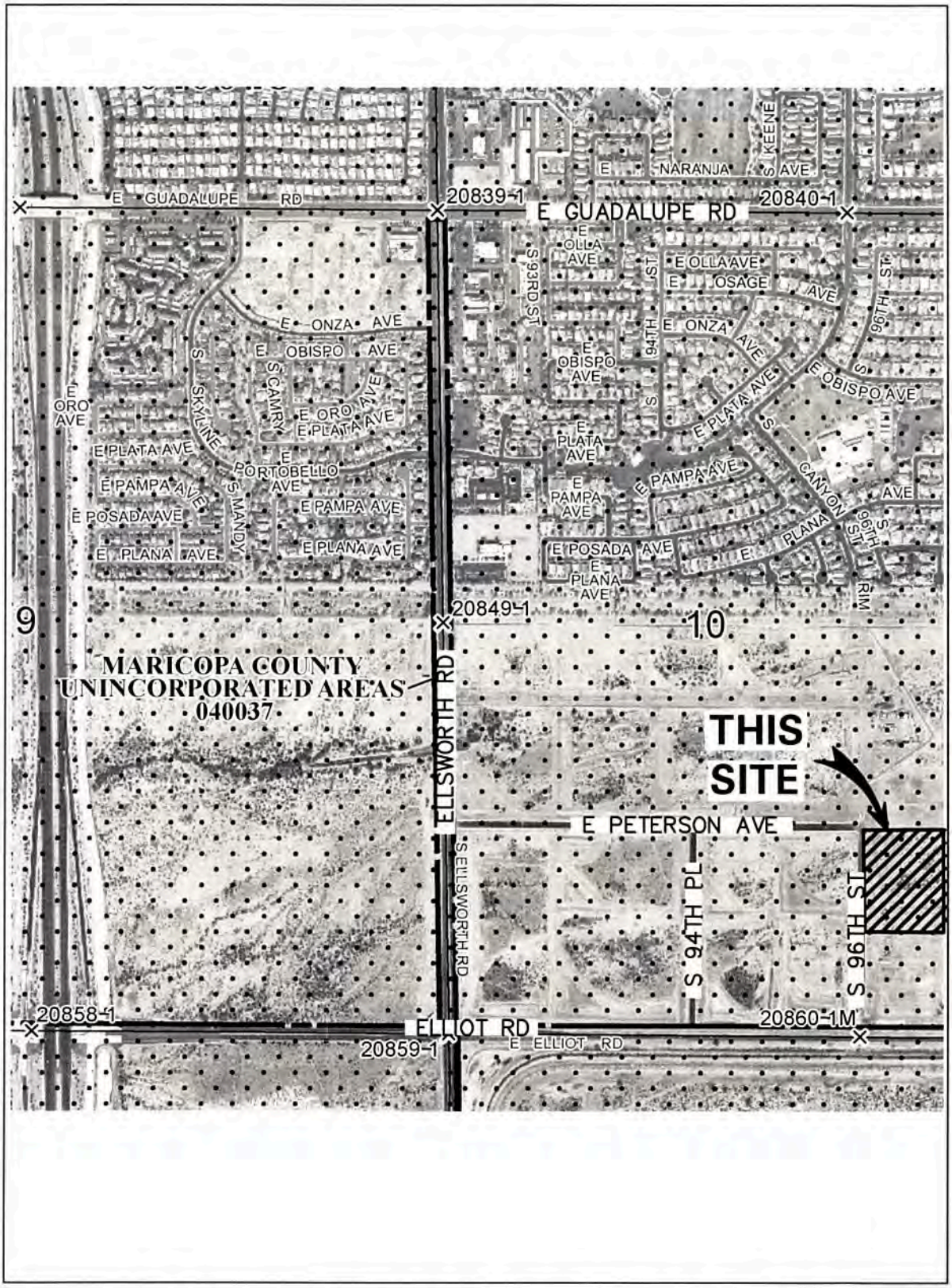
5.0 REFERENCES

1) City of Mesa Engineering Procedure Manual, August, 2012.
2) Drainage Design Manual for Maricopa County, Arizona, Hydrology, August, 2013.
3) Drainage Design Manual for Maricopa County, Arizona, Hydraulics, August, 2013.
4) Drainage Report, First Mesa Commerce Centre Phase I, David Evans & Associates Inc. Project FIRT0001, July 2007.
5) Drainage Report, First Mesa Commercial Park Phase II, Burke Engineering Group, Inc. Project BEG FI901, May 2009.
6) As-Built Plans, First Mesa Commerce Park Phase I, Burke Engineering Group, Inc. Project BEG FI901, September 2010.
7) As-Built Plans, First Mesa Commerce Park Phase II, Burke Engineering Group, Inc. Project BEG FI901, September 2010.

APPENDIX A
FIGURES



VICINITY MAP
FIGURE 1



PORTION OF PANEL SHOWING SITE
FIGURE 2

LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A	No Base Flood Elevations determined.
ZONE AE	Base Flood Elevations determined.
ZONE AH	Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
ZONE AO	Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
ZONE AR	Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
ZONE A99	Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
ZONE V	Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
ZONE VE	Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X	Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X	Areas determined to be outside the 0.2% annual chance floodplain.
ZONE D	Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

	1% annual chance floodplain boundary
	0.2% annual chance floodplain boundary
	Floodway boundary
	Zone D boundary
	CBRS and OPA boundary
	Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
513	Base Flood Elevation line and value; elevation in feet*
(EL 987)	Base Flood Elevation value where uniform within zone; elevation in feet*

* Referenced to the North American Vertical Datum of 1988 (NAVD 88)

A — A	Cross section line
23 - - - - - 23	Transect line
97°07'30", 32°22'30"	Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
4275000m N	1000-meter Universal Transverse Mercator grid ticks, zone 12
6000000 M	5000-foot grid ticks: Arizona State Plane coordinate system, central zone (FIPSZONE 0202), Transverse Mercator
DX5510	Bench mark (see explanation in Notes to Users section of this FIRM panel)
• M1.5	River Mile

MAP REPOSITORIES
Refer to Map Repositories list on Map Index

EFFECTIVE DATE OF COUNTYWIDE

MAP LEGEND

MAP SCALE 1" = 1000'

500 0 1000 2000 FEET

0 0 300 600 METERS

NFIP PANEL 2760L

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP
MARICOPA COUNTY, ARIZONA
AND INCORPORATED AREAS

PANEL 2760 OF 4425
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
MARICOPA COUNTY	040037	2760	L
GILBERT, TOWN OF	040044	2760	L
MESA, CITY OF	040040	2760	L

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

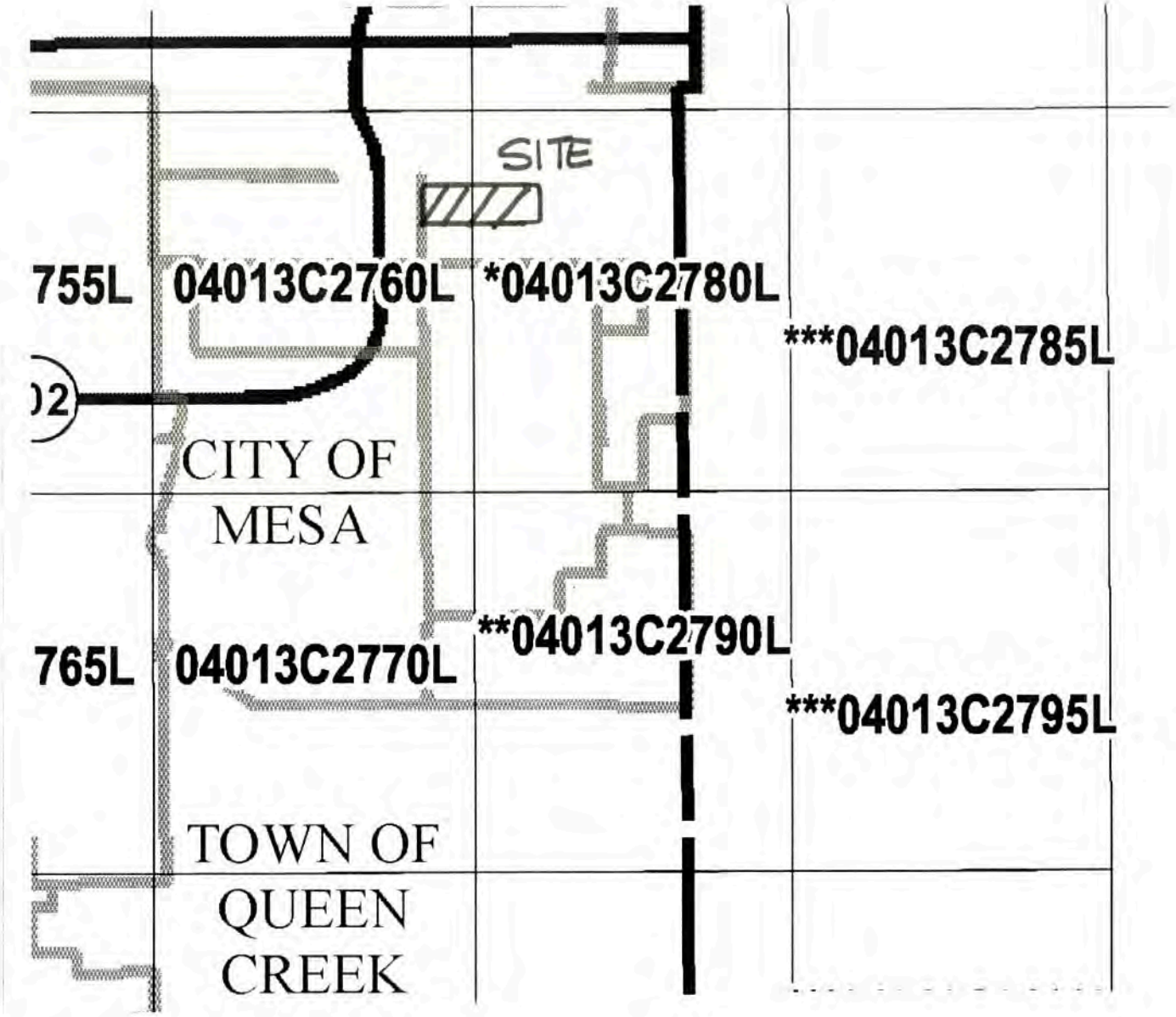
MAP NUMBER
04013C2760L

MAP REVISED
OCTOBER 16, 2013

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

FIRM PANEL



* PANEL NOT PRINTED –AREA IN ZONE D
** PANEL NOT PRINTED –NO SPECIAL FLOOD HAZARD AREAS
*** PANEL NOT PRINTED –AREA OUTSIDE COUNTY BOUNDARY
† PANEL NOT PRINTED –ALL AREAS WITHIN 0.2% ANNUAL CHANCE FLOODPLAIN

FIGURE 3

APPENDIX B
RETENTION BASIN CACLUATIONS

Retention Basin Calculations

Vr=C*D*A*43,560, C=0.9, D=2.2

Design Storm: 100-year, 2-hour

Onsite Retention

C = **0.90**
D = **2.20** inches
A = **26.82** Site acres
Vr = **192,767** cubic feet ***Retention Required***

Provided

Elevation	Area (sf)	Avg. Area (sf)	Depth (ft)	Volume (cf)	Σ Volume (cf)
21.0	80,317				
		75,169	1.00	75,169	75,169
20.0	70,021				
		64,924	1.00	64,924	140,093
19.0	59,826				
		54,779	1.00	54,779	194,872
18.0	49,732				

194,872 cf Prov
192,767 cf Req
2,105 cf Excess

Offsite Retention

Offsite Retention Required (Per Phase II As-built Plans) **9,337** cf

Offsite Provided

Elevation	Area (sf)	Avg. Area (sf)	Depth (ft)	Volume (cf)	Σ Volume (cf)
21.0	5,760				
		4,845	1.00	4,845	4,845
20.0	3,930				
		3,077	1.00	3,077	7,922
19.0	2,223				
		1,631	1.00	1,631	9,553
18.0	1,039				

9,553 cf Prov
9,337 cf Req
216 cf Excess

Temporary (Future Phase III) Basin Retention

C = **0.50**
D = **2.20** inches
A = **108.25** Site acres
Vr = **432,242** cubic feet ***Retention Required***

Upper Basin

Elevation	Area (sf)	Avg. Area (sf)	Depth (ft)	Volume (cf)	Σ Volume (cf)
25.0	329,999				
		323,617	1.00	323,617	323,617
24.0	317,235				

Lower Basin

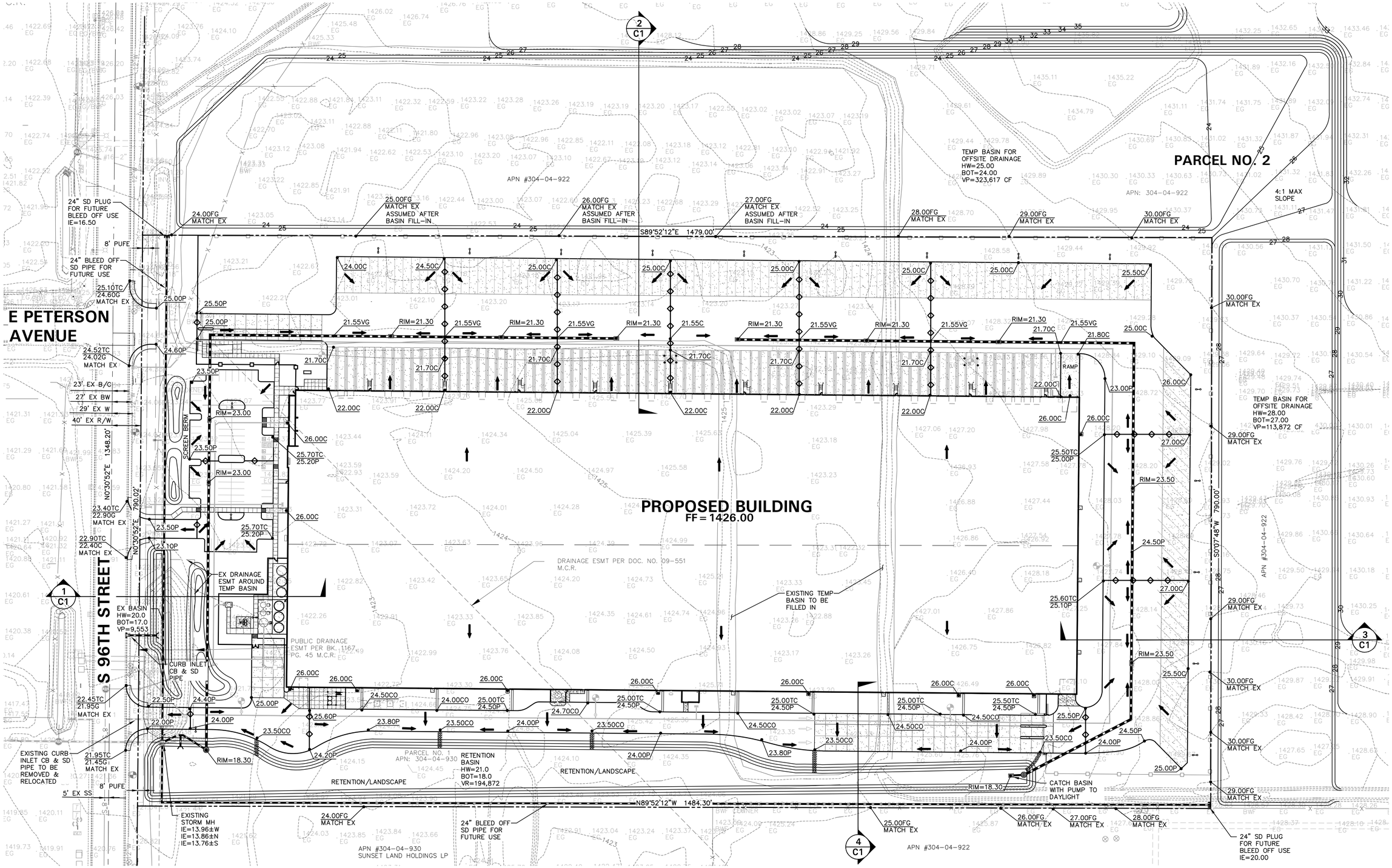
Elevation	Area (sf)	Avg. Area (sf)	Depth (ft)	Volume (cf)	Σ Volume (cf)
28.0	117,568				
		113,872	1.00	113,872	113,872
27.0	110,175				

Future Phase III (temporary) Retention Provided **437,489** cf

437,489 cf Prov
432,242 cf Req
5,246 cf Excess

Total Retention
641,913 cf Prov
615,672 cf Req
26,240 cf Excess

CONCEPTUAL GRADING & DRAINAGE PLAN



NO.	DATE	REVISION	BY

PURPOSE: CONCEPTUAL 4-3-17

DESIGN BY: JJN
DRAWN BY: LEW
CHECKED BY: DLC

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 NORTH 74TH STREET, SUITE 220
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY PLANS – NOT FOR CONSTRUCTION

CONCEPTUAL GRADING AND DRAINAGE FOR PROJECT T.L. SOUTH 96TH STREET MESA, ARIZONA

CONTACT ARIZONA 811 AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
AR ZONA811 BLUE STAKE, INC.
CALL 811 OR CLICK ARIZONA811.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

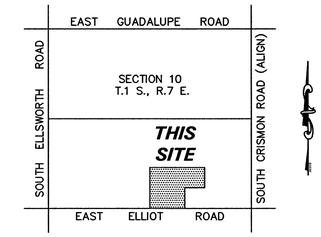
HE JOB NO.: PRTL001

SCALE 1"=60'

SHEET C2

PRELIMINARY PLAT
FOR
"MESA TECHNOLOGY BUSINESS PARK"

LOT 8 OF FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45 AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP:
N.T.S.

DEDICATION:

STATE OF ARIZONA)
)SS
COUNTY OF MARICOPA)

THAT SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, AS OWNER, DOES HEREBY PUBLISH THIS FINAL PLAT FOR "MESA TECHNOLOGY BUSINESS PARK.", LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN HEREON, AND HEREBY DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH OF THE STREETS, LOTS, TRACTS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH OF THE STREETS, LOTS, TRACTS AND EASEMENTS SHALL BE KNOWN BY THE NAME, NUMBER, OR LETTER GIVEN TO IT RESPECTIVELY.

SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, HEREBY DEDICATES AND CONVEYS TO THE CITY OF MESA, IN FEE, ALL REAL PROPERTY DESIGNATED ON THIS PLAT AS "RIGHT-OF-WAY" OR "R/W" FOR USE AS PUBLIC RIGHT-OF-WAY.

WITHOUT LIMITING IN ANY MANNER THE DEDICATIONS AND RIGHTS CREATED IN FAVOR OF THE CITY OF MESA, ARIZONA BY THIS FINAL PLAT, THE COSTS OF PUBLIC INFRASTRUCTURE CONSTRUCTED OR INSTALLED IN THE RIGHTS OF WAY OR PUBLIC EASEMENTS ESTABLISHED BY THIS FINAL PLAT MAY BE FINANCED WITH, AND THE DEVELOPER REIMBURSED BY, THE PROCEEDS OF BONDS ISSUED BY A COMMUNITY FACILITIES DISTRICT, IN ACCORDANCE WITH THE TERMS OF A DEVELOPMENT, FINANCING PARTICIPATION AND INTERGOVERNMENTAL AGREEMENT.

EACH OF THE OWNERS, AS TO THE PORTION OF THE PROPERTY OWNED BY THAT OWNER, HEREBY DEDICATES TO THE CITY OF MESA FOR USE AS SUCH THE VEHICULAR NON-ACCESS EASEMENTS AND PUBLIC UTILITY AND FACILITY EASEMENTS, AS SHOWN ON THE SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES. PUBLIC UTILITY AND FACILITY EASEMENTS ARE FOR PURPOSES OF ESTABLISHING AREAS FOR CITY USE TO CONSTRUCT, INSTALL, ACCESS, MAINTAIN, REPAIR, RECONSTRUCT, REPLACE, REMOVE, UTILITIES AND FACILITIES (INCLUDING, BUT NOT LIMITED TO, WATER, WASTEWATER, GAS, ELECTRIC, STORM WATER, PIPES, CONDUIT, CABLES, AND SWITCHING EQUIPMENT), CONDUCTORS, CABLES, FIBER OPTICS, COMMUNICATION AND SIGNAL LINES, TRANSFORMERS, VAULTS, MANHOLES, CONDUITS, PIPES AND CABLES, FIRE HYDRANTS, STREET LIGHTS, STREET PAVEMENT, CURBS, GUTTERS, SIDEWALKS, TRAFFIC SIGNALS, EQUIPMENT AND SIGNS, PUBLIC TRANSIT FACILITIES, SHELTERS AND IMPROVEMENTS, LANDSCAPING, STORM DRAINAGE, WATER RETENTION AND DETENTION, FLOOD CONTROL, AND ALL APPURTENANCES TO ALL OF THE FOREGOING, AND ALL SIMILAR AND RELATED PURPOSES TO THE FOREGOING, TOGETHER WITH THE RIGHT TO ALTER GROUND LEVEL BY CUT OR FILL AND THE UNRESTRICTED RIGHT OF VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS TO, FROM, AND ACROSS THE EASEMENT PROPERTY. ADDITIONALLY, THE CITY IS AUTHORIZED TO PERMIT OTHERS TO USE THE PUBLIC UTILITY AND FACILITY EASEMENT PROPERTY FOR ALL USES AND FACILITIES ALLOWED HEREIN. ALL OTHER EASEMENTS ARE HEREBY DEDICATED FOR THE PURPOSES SHOWN. CONSTRUCTION WITHIN EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO UTILITIES, AND WOOD, WIRE, OR REMOVABLE SECTION TYPE FENCING. UNLESS APPROVED OTHERWISE BY THE CITY OF MESA, ALL EASEMENTS CREATED BY THIS PLAT ARE PERPETUAL AND NONEXCLUSIVE EASEMENTS.

IT IS AGREED THAT SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, OR ITS SUCCESSORS OR ASSIGNS SHALL HAVE FULL USE OF THE EASEMENT EXCEPT FOR THE PURPOSE FOR WHICH THE SAME IS HEREIN CONVEYED TO THE CITY OF MESA, AND PROVIDED ALWAYS THAT NO BUILDING OR STRUCTURE OF ANY NATURE OR KIND WHATSOEVER, INCLUDING WITHOUT LIMITATION FENCES, NOR ANY PART OF SAME, SHALL BE CONSTRUCTED, INSTALLED OR PLACED ON OR OVER SAID EASEMENT OR ANY PART THEREOF BY SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, OR THE SUCCESSORS OR ASSIGNS OF SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, AND THAT THE GRADE OVER ANY BURIED FACILITES SHALL NOT BE CHANGED BY SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, OR THE SUCCESSORS OR ASSIGNS OF SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, WITHOUT PRIOR WRITTEN CONSENT OF THE CITY OF MESA. THE RIGHTS AND OBLIGATIONS OF THE CITY OF MESA SHALL BE CONSTRUED BROADLY AND CONSISTENT WITH THE PERFORMANCE OF ITS OBLIGATIONS TO PROVIDE UTILITY SERVICE TO ITS CUSTOMERS.

SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, WARRANTS AND REPRESENTS TO THE CITY OF MESA THAT IT IS THE SOLE OWNER OF THE PROPERTY COVERED BY THIS PLAT, AND THAT EVERY LENDER, EASEMENT HOLDER OR OTHER PERSON OR ENTITY HAVING ANY INTEREST THAT IS ADVERSE TO OR INCONSISTENT WITH THE FOREGOING DEDICATION, OR ANY OTHER REAL PROPERTY INTEREST CREATED OR TRANSFERRED BY THIS PLAT, HAS CONSENTED TO OR JOINED IN THIS PLAT AS EVIDENCED BY INSTRUMENTS WHICH ARE RECORDED WITH THE MARICOPA COUNTY RECORDER'S OFFICE OR WHICH DAICEL SAFETY SYSTEMS AMERICA ARIZONA, INC., A DELAWARE CORPORATION, WILL RECORD NOT LATER THAN THE DATE ON WHICH THIS PLAT IS RECORDED.

IN WITNESS WHEREOF:

SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, AS OWNER, HAS HERETO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE

SIGNATURE OF THE UNDERSIGNED OFFICER THIS ____ DAY OF _____, 2017.

BY: _____

TITLE: _____

ACKNOWLEDGEMENT:

STATE OF ARIZONA)
)SS
COUNTY OF MARICOPA)

BEFORE ME THIS _____ DAY OF _____, 2017, _____ PERSONALLY APPEARED BEFORE ME,

THE UNDERSIGNED NOTARY PUBLIC, WHO ACKNOWLEDGED HIMSELF TO BE

_____ OF SUNBELT LAND HOLDINGS, L.P., A DELAWARE LIMITED PARTNERSHIP, THE LEGAL OWNER OF THE PROPERTY PLATTED HEREON AND ACKNOWLEDGE

THAT _____ AS _____, EXECUTED THIS INSTRUMENT FOR THE PURPOSES HEREIN CONTAINED.

IN WITNESS WHEREOF,
I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC_____

EXPIRES_____

NOTES:

1. THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MESA WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.

2. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND.

3. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS OF WAYS IN ACCORDANCE WITH APPROVED PLANS.

4. NOISE ATTENUATION MEASURES BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE BUILDINGS TO ACHIEVE A NOISE LEVEL REDUCTION OF 25 DB.

5. CONSTRUCTION WITHIN UTILITY EASEMENTS EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO UTILITIES, PAVING, AND WOOD, WIRE, REMOVABLE SECTION TYPE FENCING.

6. UTILITY LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION GENERAL ORDER R. (42) 33. ELECTRICAL LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION GENERAL ORDER R-14-2-133.

7. THE CITY OF MESA IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY PRIVATE DRAINAGE FACILITIES, PRIVATE UTILITIES, PRIVATE FACILITIES, OR LANDSCAPED AREAS WITHIN THE PROJECT OR WITHIN THE PUBLIC RIGHTS-OF-WAY ALONG EAST VIRGINIA STREET.

8. NO STRUCTURES SHALL BE CONSTRUCTED IN OR ACROSS, NOR SHALL IMPROVEMENTS, OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES THAT ARE A PART OF THIS DEVELOPMENT WITHOUT THE WRITTEN AUTHORIZATION OF THE CITY OF MESA.

LEGAL DESCRIPTION:

LOT 8, OF FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45.

AND A PORTION OF THE FOLLOWING:

THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER AND THE NORTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 10;

THENCE NORTH 00 DEGREES 32 MINUTES 42 SECONDS WEST ALONG THE EAST LINE OF SAID SECTION 10, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89 DEGREES 37 MINUTES 38 SECONDS WEST PARALLEL TO AND 40.00 FEET NORTH OF THE SOUTH LINE OF SAID SECTION 10, A DISTANCE OF 1789.07 FEET;

THENCE NORTH 00 DEGREES 00 MINUTES 15 SECONDS WEST A DISTANCE OF 649.23 FEET;

THENCE SOUTH 89 DEGREES 59 MINUTES 45 SECONDS EAST TO THE EAST LINE OF SAID SECTION 10, A DISTANCE OF 1782.79 FEET;

THENCE SOUTH 00 DEGREES 32 MINUTES 42 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 10, A DISTANCE OF 660.77 FEET TO THE POINT OF BEGINNING.

EXCEPT::

FIVE (5) PARCELS OF LAND LYING WITHIN THE NORTH HALF OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF SECTION (10), TOWNSHIP ONE (1) SOUTH, RANGE SEVEN (7) EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

PARCEL 1:
THE EAST 25 FEET OF THE WEST 65 FEET OF THE NORTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 10.

PARCEL 2:
THE EAST 25 FEET OF THE WEST 65 FEET OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF SAID SECTION 10.

PARCEL 3:
ALL RIGHTS, TITLE AND INTEREST IN ANY PORTION OF THE PROPERTY DESCRIBED IN DOCUMENT 93-729661 LYING WITHIN THE RIGHT OF WAY DESCRIBED IN DOCKET 14559, PAGE 206; DOCKET 4324, PAGE 564; DOCKET 733, PAGE 579 AFFECTING THE WEST 40 FEET OF THE N2. N2, SW4 AND N2, S2, N2, SW4 OF SAID SECTION 10.

PARCEL 4:
ANY PORTION LYING WITHIN FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45.

PARCEL 5:
ANY PORTION LYING WITHIN FIRST MESA COMMERCE PARK, PHASE 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 44.

BASIS OF BEARING:

A BEARING OF NORTH 00°43'13" EAST ALONG THE WEST LINE OF THE SOUTHEAST QUARTER SECTION 10, AS DEPICTED ON THE FINAL PLAT OF "FIRST MESA COMMERCE PARK, PHASE 1 AMENDED" AS RECORDED IN BOOK 1176 OF MAPS, PAGE 45, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA.

OWNER:

SUNBELT LAND HOLDINGS, L.P.
8095 OTHELLO AVENUE
SAN DIEGO, CA 92111
PHONE: 858-776-7698
CONTACT: DENNIS O'NEIL

SURVEYOR:

HUNTER ENGINEERING, INC.
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986
CONTACT: JERRY HEATH, R.L.S.

PERTINENT RECORDED INFORMATION:

(R)=RECORDED DATA PER THE FINAL PLAT OF FIRST MESA COMMERCE PARK PHASE 1 AMENDED, AS RECORDED IN BK. 1176, PG. 45, M.C.R.

(R1)=PLSS SUBDIVISION RECORD OF SURVEY MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY, BOOK 609 OF MAPS, PAGE 29, M.C.R.

(M)=MEASURED INFORMATION FROM FIELD DATA COLLECTION.

(C)=CALCULATED INFORMATION FROM RECORDED DOCUMENTS AS NOTED.

FEMA NOTES:

THE CURRENT FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THIS AREA, MAP NUMBER 04013C 2760L (EFFECTIVE REVISED DATE OCTOBER 16, 2013), DESIGNATES THE PROPERTY WITHIN FLOOD HAZARD ZONE X,

ZONE X IS DEFINED AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN, AREAS OF 1% ANNUAL CHANCE SHEET FLOW FLOODING WHERE THE AVERAGE DEPTHS ARE LESS THAN 1 FOOT, AREAS OF 1% ANNUAL CHANCE STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE 1% ANNUAL CHANCE FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE. INSURANCE PURCHASE IS NOT REQUIRED IN THESE ZONES.

CERTIFICATION:

"I JERRY D. HEATH JR., HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA; THAT THIS MAP OR PLAT CONSISTING 2 SHEETS REPRESENTS A SURVEY PERFORMED UNDER MY SUPERVISION DURING THE MONTH OF MARCH 2017; THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE BOUNDARY MONUMENTS, CONTROL POINTS AND LOT CORNERS SHALL BE LOCATED AS SHOWN AND WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED".

REGISTERED LAND SURVEYOR
CERTIFICATE NO.
45835
JERRY D.
HEATH JR.
Signed
ARIZONA U.S.A.
Expires 3/31/2019

APPROVALS:

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF MESA, ARIZONA, ON THE

_____ DAY OF _____, 2017.

BY: _____
MAYOR

ATTEST: _____
CITY CLERK

THIS IS TO CERTIFY THAT THE AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER SERVICE AREA OF THE CITY OF MESA, WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY IN ACCORDANCE WITH ARS 45-576.

_____ _____ _____
CITY ENGINEER DATE

NO.	DATE	REVISION	BY

PURPOSE: PRELIMINARY PLAT

DRAWN BY: JDH
CHECKED BY: JDH

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

PRELIMINARY PLAT
"MESA TECHNOLOGY BUSINESS PARK"
LOT 8 OF FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45 AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 10
TWNSHP: 1S
RANGE: 7E

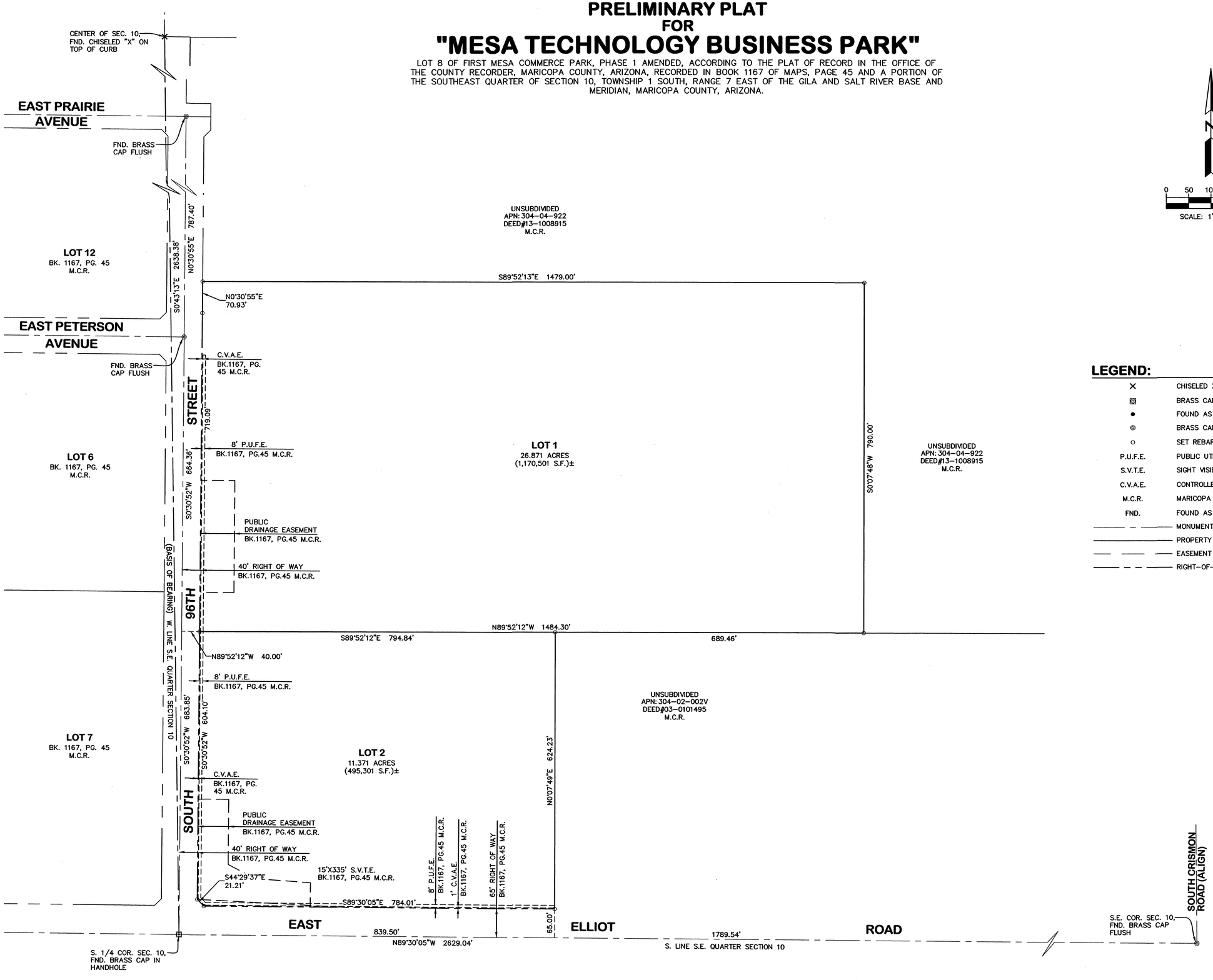
JOB NO.: PRTL001-S

SCALE 1"=100'

SHEET 1 OF 2

PRELIMINARY PLAT
FOR
"MESA TECHNOLOGY BUSINESS PARK"

LOT 8 OF FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45 AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



LEGEND:

×	CHISELED X
▨	BRASS CAP IN HANDHOLE
●	FOUND AS NOTED
◎	BRASS CAP FLUSH
○	SET REBAR
P.U.F.E.	PUBLIC UTILITY & FACILITIES EASEMENT
S.V.T.E.	SIGHT VISIBILITY TRIANGLE EASEMENT
C.V.A.E.	CONTROLLED VEHICULAR ACCESS EASEMENT
M.C.R.	MARICOPA COUNTY RECORDER
FND.	FOUND AS NOTED
——— – – ———	MONUMENT LINE
———————	PROPERTY LINE
— — —	EASEMENT LINE
——— – – ———	RIGHT-OF-WAY LINE

NO.	DATE	REVISION	BY

PURPOSE: PRELIMINARY PLAT

DRAWN BY: JDH
CHECKED BY: JDH

HUNTER ENGINEERING
CIVIL AND SURVEY
10450 N. 74TH ST., SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986

REGISTERED LAND SURVEYOR
CERTIFICATE NO.
45835
JERRY D. HEATH JR.
Date Signed 1/12/17
ARIZONA U.S.A.
Expires 3/31/2018

PRELIMINARY PLAT
"MESA TECHNOLOGY BUSINESS PARK"
LOT 8 OF FIRST MESA COMMERCE PARK, PHASE 1 AMENDED, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 1167 OF MAPS, PAGE 45 AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

SECTION: 10
TWNSHP: 1S
RANGE: 7E

JOB NO.: PRTL001-S

SCALE 1"=100'

SHEET 2 OF 2